



Enquiries: Xavier Dubreuil
Direct 07 5433 2739
Our Ref: DA/2025/0346
Your Ref: 22-000082
Date: 23 May 2025

Lennium Group
c/- Egis Consulting Pty Ltd
PO Box 997
BUDDINA QLD 4575

Dear Applicant,

Re: DEVELOPMENT APPROVAL

Planning Act 2016

Development Application No.: DA/2025/0346

Property Location: 409-423 Caboolture River Road LILYWOOD

Property Description: Lot 12 RP 866105

Development Type: Operational Work - Development Permit for Roadwork and Stormwater (Lilywood, Stage 7)

Please be advised that on 23 May 2025 the above development application was approved by Council's Delegate as the Assessment Manager in accordance with section 63 of the *Planning Act 2016* subject to conditions.

The following type of approval has been issued:

- **Development Permit - Operational Works for Roadwork and Stormwater (Lilywood, Stage 7)**

The development allowed by this approval must be carried out in accordance with the attached Decision package.

Attached is an extract from the *Planning Act 2016* which details your appeal rights and the appeal rights of any submitters, if applicable, regarding this decision.

Should you require any further information about this matter, please contact Xavier Dubreuil as referenced above.

Yours faithfully

A handwritten signature in black ink, appearing to read "X. Dubreuil", with a horizontal line underneath it.

Xavier Dubreuil
Senior Engineer
Development Services

Enclosures: Attachment 1 - Decision Notice
Attachment 2 - Assessment Manager Conditions
Attachment 3 - Approved Plans / Documents
Attachment 4 - Appeal Rights

ATTACHMENT 1

Decision Notice

Decision Notice

Planning Act 2016, section 63

APPLICATION DETAILS

Application No: DA/2025/0346

Applicant: Lennium Group

Street Address: 409-423 Caboolture River Road LILYWOOD

Real Property Description: Lot 12 RP 866105

Planning Scheme: Moreton Bay Regional Council Planning Scheme

APPROVAL DETAILS

Date of Decision: 23 May 2025

The development application was approved by Council's Delegate as the Assessment Manager subject to conditions (refer Attachment 2).

Application Type	Development Permit	Preliminary Approval
Operational Works for Roadwork and Stormwater (Lilywood, Stage 7)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

OTHER NECESSARY PERMITS

Not applicable.

In addition to this approval, you may also be required to obtain a water approval from the Northern SEQ Distributor Retailer, trading as Unitywater. To engage a Registered Certifier to lodge your connection application, go to Unitywater's website www.unitywater.com/certifier

CURRENCY PERIOD OF APPROVAL

The currency period stated in section 85 of the *Planning Act 2016* applies to this approval as outlined below:

- Operational Works - 2 years from the date of this approval starts to have effect.

DEEMED APPROVAL

Not applicable.

VARIATION APPROVAL

Not applicable.

INFRASTRUCTURE

Unless otherwise specified, all assessment manager conditions of this development approval relating to the provision of infrastructure are non-trunk infrastructure conditions under Chapter 4, section 145 of the *Planning Act 2016*.

ASSESSMENT MANAGER CONDITIONS

The Conditions relevant to this development approval are listed in Attachment 2 of the Decision package.

APPROVED PLANS / DOCUMENTS

The approved plans and/or documents as listed below for this development approval are included in Attachment 3 of the Decision package.

The approved plans/documents for this development approval are listed below.

Approved Plans and Documents			
Plan / Document Name	Reference Number	Prepared By	Dated
Title Sheet & Locality Plan	22-000082_7 Dwg 1000 Rev. A	Egis	24/01/2025
Sit Layout Plan	22-000082_7 Dwg 1100 Rev. A	Egis	24/01/2025
Retaining Wall Setout Plan	22-000082_7 Dwg 1200 Rev. A	Egis	24/01/2025
Retaining Wall Notes and Details	22-000082_7 Dwg 1201 Rev. A	Egis	24/01/2025
Control Line Setout Plan	22-000082_7 Dwg 1300 Rev. A	Egis	24/01/2025
Roadworks Layout Plan	22-000082_7 Dwg 1310 Rev. A	Egis	24/01/2025
Road 19 Longitudinal and Cross Section	22-000082_7 Dwg 1330 Rev. A	Egis	24/01/2025
Stormwater Layout Plan	22-000082_7 Dwg 1400 Rev. A	Egis	24/01/2025
Stormwater Notes and Details	22-000082_7 Dwg 1401 Rev. B	Egis	07/03/2025
Stormwater Catchment Plan	22-000082_7 Dwg 1410 Rev. A	Egis	24/01/2025
Stormwater Longitudinal Sections	22-000082_7 Dwg 1420 Rev. A	Egis	24/01/2025
Stormwater Calculations Table Minor	22-000082_7 Dwg 1430 Rev. A	Egis	24/01/2025
Stormwater Calculations Table Major	22-000082_7 Dwg 1431 Rev. A	Egis	24/01/2025

ASSESSMENT BENCHMARKS

The Assessment Benchmarks that applied to the development from the following Categorising Instruments include;

Categorising Instrument (*Planning Regulation 2017*)

State Planning Policy

- *State Planning Policy 2017*, Part E.

Regional Plan

- *South East Queensland Regional Plan 2017 (ShapingSEQ)*.

Local Categorising Instrument (Moreton Bay Regional Planning Scheme)

- Works Code
- Reconfiguration a lot (applicable precinct only)
- Caboolture West Local Plan Code

Local Categorising Instrument (Variation Approval)

Not applicable.

Local Categorising Instrument (Temporary Local Planning Instrument)

Not applicable.

OTHER RELEVANT ASSESSMENT MATTERS

Not applicable.

REASONS FOR THE DECISION

Not Applicable.

REASONS FOR APPROVAL DESPITE NON-COMPLIANCE WITH ASSESSMENT BENCHMARKS

Not applicable.

REFERRAL AGENCY CONDITIONS

There were no Referral Agencies applicable to this development application.

SUBMISSIONS

Not applicable.

APPEAL RIGHTS

Attachment 4 of the Decision package is an extract from the *Planning Act 2016* which details your appeal rights, and the appeal rights of any submitters, if applicable, regarding this decision.

ATTACHMENT 2

Assessment Manager Conditions of Approval

CONDITION		TIMING
OPERATIONAL WORKS		
DEVELOPMENT ENGINEERING		
1	Road Classifications for Pavement Design	
	Design pavement in accordance with the following road classifications: Road 19 - Modified living Residential - 1.2 x 10 ⁵ ESA	Prior to subgrade inspections.
2	Non-Conforming Designs	
	Only non-conforming designs listed in this approval have been accepted. All other discrepancies with Council standards shall be redesigned and / or reconstructed as necessary to conform with Council standards at no cost to Council.	At all times during construction and prior to works being accepted Off Maintenance.
3	Errors and Omissions	
	Where errors or omissions occur in the design or works do not conform to or meet Council standards then these works shall be rectified to comply with Council standards at no cost to Council. Where drawings contain insufficient detail or do not contain details of works that are either necessary or associated with the development then these works shall be designed and constructed to Council standards. Only the approved plans shall be used for construction. Note: Council reserves the right to amend the approved drawings or request further information should this become necessary.	At all times during construction and prior to works being accepted Off Maintenance.
4	Works – Applicant's Expense	
	All works, services, facilities and/or public utility alterations required by or as a consequence of this approval or stated condition/s, whether carried out by the Council or otherwise, shall be at the developer's expense unless otherwise specified or agreed in writing. Replace existing Council infrastructure (including but not limited to street trees and footpaths) to Council's standards.	At all times during construction and prior to works being accepted Off Maintenance.
5	Works – Connection to existing works	
	Where existing works, including roads and drainage works, will not link up with and join smoothly to proposed works and are not more than twenty (20) metres from the nearest point of the proposed works the developer shall carry out such works as are necessary to ensure that the incomplete works, including roads and drainage, are constructed to link up with and join smoothly to the works proposed in accordance with	Prior to works being accepted On Maintenance.

CONDITION		TIMING
	<p>Council's standards.</p> <p>These works are to be undertaken at the developer's expense unless otherwise specified or agreed in writing.</p>	
6	Notification of Finalisation of Works	
	Notify Council in writing that the development works on site have been finalised.	At the time of completion of construction.
7	As Constructed Drawings	
A	<p>Provide, for review and approval, Council with a preliminary set of the surveyor and engineering As Constructed drawings for the approved works and a digital ADAC file.</p> <p>Note: The current design standard and relevant planning scheme policy is MBRC Planning Scheme Policy Operational Works inspection, maintenance and bonding procedures.</p>	Prior to requesting an On Maintenance inspection.
B	Submit 'As Constructed' drawings and digital ADAC file in accordance with Council's Planning Scheme, relevant Planning Scheme Policies and design standards current at the time of development.	Prior to works being accepted On Maintenance.
8	Works in Existing Roads	
A	Works carried out in or affecting existing Roads must be undertaken so that these roads are maintained in a safe and useable condition.	At all times.
B	<p>Provide to Council's delegated officer and receive acknowledgement of a Traffic Management Plan, with site specific Guidance Scheme, prepared and signed by an appropriately qualified person and in accordance with the Manual of Uniform Traffic Control Devices (MUTCD) for any works that will affect traffic movements or traffic safety in existing roads.</p> <p>Note:</p> <ol style="list-style-type: none"> 1. A 'Part Road Closure Application' for Development Works form is to accompany the Traffic Management Plan submission. 2. This submission is required to be made in addition to any Traffic Management Plan which has been submitted and/or approved as part of a Construction Management Plan for the site during the development application process for Material Change of Use or Reconfiguring a Lot or subsequent non-IDAS applications. 	At least five (5) days prior to undertaking the works in or affecting existing roads.

CONDITION		TIMING
9	Information Sign – Works in Existing Roads	
	A construction advisory road sign must be erected and regularly updated and maintained displaying the developer and contractors details and the expected completion date for works on existing roads. The sign shall be located so as be clearly legible to the public from of minimum 15m distance from the existing road on which the works are to be carried out on.	For the duration of the works from commencement to acceptance of On Maintenance.
10	Notification to Affected Premises	
A	<p>Provide Council with a copy of an information kit for 'Notification to Affected Premises' which includes the following:</p> <ol style="list-style-type: none"> 1. A layout plan of the proposed development showing adjoining lot boundaries, new and existing roads, park and open space, drainage reserves and community purposes lots as applicable; 2. Details of any external works with any changes to existing works highlighted for easy identification; 3. Scheduled start and completion dates; 4. Contact names and phone numbers for the Developer, Supervising Engineer, Consulting Engineer, the Contractor, Wildlife Spotter and who to contact in an emergency; and 5. The site working hours authorised for the site works. 	Prior to distribution of information kit to residents.
B	<p>Provide all occupiers of premises adjoining the site, directly opposite the frontage of the site, adjacent to and directly opposite external works and residents/occupiers likely to be directly affected by the works with a copy of the 'Notification to Affected Premises' information kit.</p> <p>Provide Council's delegated officer with a list of premises which the information kit has been delivered to.</p>	Not less than 14 days prior to commencing any construction works.
11	Information Sign – Development Works	
	<p>An information sign containing the following details and after hours contact details must be provided at each entrance to the development site:</p> <ol style="list-style-type: none"> 1. Developer 2. Supervising Consultant/ Engineers / Project Manager 3. Principal Contractor <p>The sign must be at least 0.9m (W) by 0.6m (H). The sign must be erected and maintained for the duration of the development works.</p>	For the duration of the development works from commencement to acceptance On Maintenance by Council.
12	Prestart Meeting	
	<p>Arrange a prestart meeting with Council officers from Development Services section on 3205 0555 or (Email - council@moretonbay.qld.gov.au - Attention - Development Services - Engineering Waraba Construction Team - Referencing DA/2024/2330.</p>	Not less than 7 days prior to commencing any construction works.

CONDITION		TIMING
	<p>The following people will be required to attend the prestart meeting:</p> <ol style="list-style-type: none"> 1. Developer's Supervising Engineer 2. Contractor's Engineer / Project Manager 3. Contractor's Site Supervisor 4. Fauna Manager (where required). 	
13	Mandatory Inspections with Council Officers	
	Submit required documentation for each mandatory inspection in accordance with MBRC Planning Scheme Policy - Operational Works inspection, maintenance and bonding procedures.	Prior to requesting inspection.
	Undertake the following inspections with Council's delegated officer (where applicable to approved works) in accordance with MBRC Planning Scheme Policy - Operational Works inspection, maintenance and bonding procedures:	As prescribed below.
A	Stormwater drainage.	Prior to backfilling stormwater trenches.
B	Subgrade / box inspection.	Prior to placement of structural pavements.
C	Preseal inspection.	Prior to priming and sealing of structural pavements.
D	For concrete slabs and concrete pavements - foundations / subgrade and pre-pour inspections.	Prior to concrete pouring.
E	On maintenance inspection for Council's acceptance of all works.	Prior to works being accepted On Maintenance.
F	<p>Off maintenance inspection of all works.</p> <p>Note: Reinspections attract a fee in accordance with Council's Fee Schedule. The fee must be paid prior to the reinspection.</p>	After maintenance period has elapsed.
G	Provide Council's delegated officer with a copy of an Engineers' Certificate Soil tester's reports demonstrating that required compaction standards, finished levels and textures of finish have been obtained in accordance with Council's Planning Scheme Policy - Operational Works inspection, maintenance and bonding procedures.	Prior to proceeding to construction of next layer or surfacing.
14	Testing Frequency – General	
A	<p>All testing of the works shall be carried to comply with the minimum testing frequencies given in MBRC Planning Scheme Policy - Operational Works inspection, maintenance and bonding procedures.</p> <p>Note: Council's delegated officer may vary the frequency of testing to suit site conditions but must provide written advice</p>	At all times during construction.

CONDITION		TIMING
	to the supervising engineer prior to commencement of the relevant works.	
B	Provide a plan identifying locations where testing has occurred.	Prior to works being accepted On Maintenance.
15	Construction Hours Restrictions	
	<p>Ensure hours of construction are limited to 0630 to 1830 Monday to Saturday and not at all on Sundays and public holidays.</p> <p>Note: Council's engineer may approve (in writing) work outside the above hours where it can be demonstrated to the satisfaction of Council that the work will not cause unreasonable interference with the amenity of adjoining premise and any person.</p>	At all times.
16	Construction Nuisance and Annoyance	
	Ensure construction works do not cause unreasonable interference with the amenity of adjoining premise and any person by reason of noise, vibration, electrical interference, smell, fumes, vapour, steam, soot, ash, dust, silt, wastewater, waste products, grit, oil or otherwise.	At all times.
17	Construction Site Management	
	Ensure the construction site is kept in a clean and tidy state.	At all times.
18	Temporary Sedimentation, Erosion and Runoff Control	
A	Implement an Erosion and Sediment Control Plan which is prepared by an experienced Certified Professional in Erosion and Sediment Control (CPESC) in accordance with International Erosion Control Association Australasia (IECA) Best Practice and Sediment Control document and MBRC Planning Scheme current at the time of development.	Prior to commencement of works and to be maintained current at all times during construction and until the development is accepted off-maintenance.
B	<p>The temporary erosion and sediment control measures shall be maintained and be functional until the end of the Maintenance Period for the works or earlier if Council's delegated officer considers they are no longer required.</p> <p>Note: Council's delegated officer may order additional measures to control silt on site at no cost to Council.</p>	At all times during construction.
19	Haul Routes	
	<p>Submit and have approved by Council's delegated officer all haul routes for the transport of imported or spoil material and gravel pavement material along Council roads below sub-arterial standard.</p> <p>Note: Refer to MBRC Planning Scheme Values and</p>	Prior to a prestart meeting being held.

CONDITION		TIMING
	Constraints Mapping - Road Hierarchy for details on sub-arterial and arterial roads.	
20	Spillage onto Existing Roads	
	<p>Clean those parts of the access route to the site that are affected by any material dropped, deposited or spilled on the roads as a result of construction processes associated with the site.</p> <p>Note:</p> <ol style="list-style-type: none"> 1. All materials must be swept up and removed from the roads and not directed into Council's stormwater drainage system. 2. All care must be taken to prevent sediments being deposited on roads. 	At all times during construction.
21	Dust Control – Nuisance and Annoyance	
	<p>Implement suitable dust control measures. If airborne particles are observed leaving the site, any work is to cease immediately and satisfactory dust suppression is to be implemented.</p> <p>Note: Dust suppression measures must be in place at all times including weekends and public holidays.</p>	At all times prior to works being accepted Off Maintenance.
22	Earthworks Batters	
	<p>Where approved drawings do not include specifications for scour and erosion protection apply the following treatments to batter slopes:</p> <ol style="list-style-type: none"> 1. Slopes of 1:6 or flatter – topsoil and seed 2. Slopes between 1:6 and 1:4 – topsoil and turf 3. Slopes of 1:4 or greater – provide treatment recommendation from a qualified geotechnical engineer (R.P.E.Q.) for Council approval prior to undertaking batter works 4. Or as directed by Council. <p>Note: Batters within Open and Civic Spaces are to be treated in accordance with MBRC Planning Scheme Policy Integrated Design - Open and Civil Space Design.</p>	At all times during construction.
23	Road Crossings in Existing Roads	
	<p>All services crossings under Existing Council Roads are to be tunnel bored unless approved otherwise by Council's delegated officer.</p> <p>Where approval is given for open trenching, the following is to apply:</p> <ol style="list-style-type: none"> 1. Minor Roads - backfill shall be compacted in layers to 95% standard maximum dry density and topped with 300mm of pavement material and a 50mm AC wearing course. 	At all times during construction.

CONDITION		TIMING
	<ol style="list-style-type: none"> 2. Sub-arterial or Arterial roads - refer to I.P.W.E.A. Standard Drawing RS-170. 3. Verge - Backfill shall be compacted to 90% standard maximum dry density and topped with 75mm of sandy loam. Restoration of any vegetation shall be undertaken to a standard as near as practicable to the pre-construction standard. 	
24	Site works – Stormwater Runoff Quality	
	<p>Carry out earthworks in accordance with the State Planning Policy - Water Quality and IECA Best Practice Erosion and Sediment Control document.</p> <p>Note:</p> <ol style="list-style-type: none"> 1. Soil disturbances of greater than 1.0 hectares will require a site specific Erosion & Sediment Control Plan. 2. Earthworks are to be undertaken to ensure that soil disturbances are staged into manageable areas of not greater than 3.5 hectares. 	At all time during construction and until the site is suitably stabilised.
25	Unsuitable Fill Materials	
	<p>Ensure that all fill material used on the development site is free of unsuitable materials, identified in AS3798 and the following:</p> <ol style="list-style-type: none"> 1. actual acid sulfate soils and potential acid sulfate soils; 2. organic or putrescible matter; 3. material imported from land which is, or has been, listed on the “Environmental Management Register” under the <i>Environmental Protection Act 1994</i>; and 4. building demolition material. 	At all times.
26	Compaction Requirements	
	<p>All fill material which is intended to be load bearing, or the finished surface level of which is required to remain approximately constant, is selected, placed and compacted to the standard prescribed in Australian Standard AS3798 Guidelines on Earthworks for Commercial and Residential developments.</p>	At all times during construction.
27	Advisory Sign – Future Road Extension	
	<p>At the end of each road that is intended to extend with future development an advisory sign shall be supplied and erected to inform residents and the public of the future road extension. The sign shall be worded as follows:</p> <p>“This road may be extended with future development of the adjoining land. For further information refer to Council’s Planning Scheme.”</p> <p>This sign must be easily read at a distance of 5 metres. The</p>	Prior to works being accepted On Maintenance.

CONDITION		TIMING
	sign shall not be attached to the road end hazard sign above the sign board.	
28	Pavement Design	
A	<p>All road pavements must be designed, constructed and tested in accordance with MBRC Planning Scheme Policy - Integrated Design - Street, Roads and Utilities and standard drawings current at the time of construction.</p> <p>Note:</p> <ol style="list-style-type: none"> 1. Council requires a primer seal placed under all asphalt surfaces. 2. Increased asphalt surface thicknesses for road thresholds are to be identified in the pavement design. 	At all times during construction.
B	Submit, for review and approval by Council's delegated officer, a pavement design for all roads. Pavement designs are to include Soil tester's reports.	Prior to subgrade inspection.
29	Pavement Jointing Detail	
	Undertake pavement jointing in accordance with I.P.W.E.A.Q. Standard Drawings RS-170.	Prior to works being accepted On Maintenance.
30	Concrete Footpaths	
	Construct concrete footpaths and kerb ramps in accordance with I.P.W.E.A. Standard Drawings RS-065 and RS-090.	Prior to works being accepted On Maintenance.
31	Street Signs	
	<p>Street signs must be provided in accordance with Council's Standard Drawings and I.P.W.E.A. Standard Drawings.</p> <p>Note:</p> <ol style="list-style-type: none"> 1. House numbers required for these signs shall be obtained from Council's house numbering officer by contacting Council's Customer Service. 2. The MBRC Logo is not to be put on the sign. 	Prior to works being accepted On Maintenance.
32	Hazard Management	
A	<p>Undertake the hazard identification and treatment process for any additional, existing or introduced hazards identified onsite by the Consultant or by Council's delegated officer during the construction process.</p> <p>Undertake a review of the identified hazards and provide a copy of the completed Hazard Mitigation Worksheet found in AUSTROADS Guide to Road Design Part 6: Roadside Design, Safety and Barriers Appendix B along with any supporting information.</p>	Prior to works being accepted On Maintenance.

CONDITION		TIMING
B	Provide, for review and approval by Council's delegated officer, adequate design documentation for the recommended hazard management treatment in accordance with AS3845:1999 and AUSTRROADS Guide to Road Design Part 6: Roadside Design, Safety and Barriers.	Prior to construction of any hazard management treatment.
C	Construct approved hazard management treatments in accordance with Council's Planning Scheme, Planning Scheme Policies, standard drawings and any other relevant standards current at the time of development.	Prior to works being accepted On Maintenance.
33	Stormwater Runoff Control – Batters and Retaining Walls	
	Provide cut-off drains at the top of the batter with turf or rock lined batter drains for all batters and/or retaining walls generally higher than 600mm in height and with a catchment greater than 1000m ² . Note: Where these are not detailed on the approved drawings then these works shall be in accordance with Council's current standards.	Prior to works being accepted On Maintenance.
34	Stormwater Runoff Control – Open Drains	
	Provide lining with appropriate scour protection to all open drains and bunds in accordance with Council's Planning Scheme, Planning Scheme Policies and standard drawings current at the time of development. Note: Dumped rock is generally not considered as an appropriate solution.	Prior to works being accepted On Maintenance.
35	Stormwater Pipe Outlets and Culvert Inlets and Outlets	
	Stabilise all culvert inlets and outlets or stormwater drainage outlets in accordance with industry best practice and the following requirements: <ol style="list-style-type: none"> 1. Rock gabion baskets/rock mattresses 2. Grouted rock/stone pitching with a properly designed and prepared base and constructed to the following requirements: <ol style="list-style-type: none"> i. Mortar to be 1 part cement to 3 parts sand (by volume). ii. Open face stone pitching is to be used where the concrete is recessed 50mm behind the stone facing. iii. Select spalls to avoid sharp edges. 3. Other solutions as approved by Council's delegated officer. Note: Dumped rock is generally not considered as an appropriate solution.	At all times.
36	Stormwater Overland Flow – Site Earthworks	
	Earthworks must be undertaken on the site so as not to cause nuisance and annoyance to any person or premises. The development must:	At all times during construction.

CONDITION	TIMING
<ol style="list-style-type: none"> 1. Allow stormwater overland flow which entered the land prior to the commencement of the earthworks to continue to enter the land; and 2. Ensure stormwater overland flow from the development site is not discharged or diverted onto land (other than a road) adjacent to the site in a manner which: <ol style="list-style-type: none"> i. concentrates the rate of flow at any point along the property boundary; or ii. increases the peak flow rates of stormwater discharged at any point along the property boundary; beyond that which existed prior to commencement of these earthworks. 	
37	
<p>CCTV – Stormwater Pipes</p> <p>A Undertake and provide, to the satisfaction of the Council, a high definition Closed Circuit Television (CCTV) recording of all stormwater pipes, including inter allotment roof water drainage. Recording to be undertaken within one month immediately preceding making a request for On Maintenance inspection and post road pavement construction works. CCTV to clearly display all joints (full surrounds) and any form of damage or defects, including date and time of the recording.</p> <p>The recording is to include a report signed by a suitably qualified Registered Professional Engineer Queensland (RPEQ) stating that the recording has been reviewed and all works are satisfactory.</p> <p>Where defects have been identified, consultant is to provide method of rectification to Council for approval, prior to carrying out any rectification works.</p>	Prior to a request for On Maintenance Inspection
<p>B Undertake and provide, to the satisfaction of the Council, a high definition Closed Circuit Television (CCTV) recording of all stormwater pipes, including inter allotment roof water drainage. Recording to be undertaken within one month immediately preceding making a request for Off Maintenance inspection. CCTV to clearly display all joints (full surrounds) and any form of damage or defects, including date and time of the recording.</p> <p>The recording is to include a report signed by a suitably qualified Registered Professional Engineer Queensland (RPEQ) stating that the recording has been reviewed and all works are satisfactory.</p> <p>Where defects have been identified, consultant is to provide method of rectification to Council for approval, prior to carrying out any rectification works.</p>	Prior to a request for Off Maintenance inspection.

CONDITION		TIMING
38	Provision of Kerb Adapters	
	<p>Provide a minimum of two (2) metal kerb adapters per lot for lots that drain to the road. Where a lot has side crossfall of up to 1.5%, one (1) kerb adaptor shall be located at each side of the lot. Where a lot has side crossfall of greater than 1.5%, both kerb adapters shall be located at the low side of the lot.</p> <p>For lots with a concrete footpath at the frontage, the kerb adapters shall be connected to the front boundary of the lot with Class SN8 uPVC stormwater pipe.</p>	Prior to works being accepted On Maintenance.
39	Fertilisers for Grassing and Landscape Works	
	<p>Odorous chemicals, fertilisers, soil conditioners or mulches shall not be used on land development projects. Only a non-odorous, commercially bagged and labelled fertiliser shall be used when seeding grass areas or laying turf.</p> <p>Without limiting the above, Council's delegated officer may approve the use of suitably composed and aged organic material, such as soil conditioners, at the following locations:</p> <ol style="list-style-type: none"> 1. in isolated locations where existing and proposed houses are considerable distances from the work site; and 2. where, in the officer's opinion, their use would not adversely affect the occupiers of any nearby properties with strong odours or loose material blown from the work site. <p>Council's delegated officer will provide the approval in writing with conditions where odorous fertilisers are approved.</p>	At all times during construction.
40	Stabilisation of Disturbed Areas	
	<p>Ensure that a grass strike rate of at least 80% cover has been attained on all disturbed areas or other approved means of stabilisation of grassed areas have been provided.</p> <p>Note: For residential and rural residential subdivisions, the road reserve between kerb and property line shall be turfed as a condition of completion.</p>	Prior to works being accepted On Maintenance.

ADVICES	
1	Development Permit
	<p>This approval shall comply with all the conditions of related approval as stipulated in Council's Decision Notice – Development Permit dated 11 September 2024 referenced as DA/2022/2253.</p> <p>The Applicant needs to be aware that the Currency Period of that Decision Notice may determine the validity period of this Decision Notice.</p>
2	Extent of Checking by Council
	<p>This approval shall not be taken to mean that the drawings have been checked in detail and Council accepts no responsibility whatsoever for the survey information, the design, or for the accuracy of any information or detail contained in the approved drawings and specifications.</p>
3	Aboriginal Cultural Heritage Act
	<p>The <i>Aboriginal Cultural Heritage Act 2003</i> commenced in Queensland on April 16, 2004. Under the Act, indigenous parties are key in assessing cultural heritage significance.</p> <p>The <i>Aboriginal Cultural Heritage Act 2003</i> establishes a Duty of Care for indigenous cultural heritage. This applies on all land and water, including freehold land. The Cultural Heritage Duty of Care lies with the person or entity conducting the activity.</p> <p>Penalty provisions apply for failing to fulfil the Cultural Heritage Duty of Care.</p> <p>Those proposing an activity that involves additional surface disturbance beyond that which has already occurred on the proposed site need to be mindful of the Duty of Care requirement.</p> <p>Details of how to fulfil the Duty of Care are outlined in the Duty of Care Guidelines gazetted with the Act.</p> <p>Council strongly advises that you contact the relevant state agency to obtain a copy of the Duty of Care Guidelines and further information on the responsibilities of developer under the terms of the <i>Aboriginal Cultural Heritage Act 2003</i>.</p>
4	Environmental Protection Act
	<p>It remains the duty of care of the site owner not to cause Environmental Harm as defined under the <i>Environmental Protection Act 1994</i>.</p>
5	Fill in Proposed Parks
	<p>Filling is not permitted in proposed parks without prior written approval of Council's Delegated Officer.</p>
6	Road and Stormwater infrastructure
	<p>In respect to Road and Stormwater infrastructure, the works shall be designed and constructed in accordance with the relevant Planning scheme codes and policies;</p> <p>The current relevant planning scheme codes and policies are:</p> <ol style="list-style-type: none"> 1. Works code; 2. Reconfiguring a lot codes; 3. PSP- Integrated Design 4. PSP- Operational Works Inspection, Maintenance and Bonding Procedures.

ADVICES	
	<p>All of which may be downloaded free of charge from Council's website at www.moretonbay.qld.gov.au.</p> <p>The PSP- Operational Works Inspection, Maintenance and Bonding Procedures also contains details of other requirements such as:</p> <ol style="list-style-type: none"> 1. arrangements for works going On or Off Maintenance; 2. inspection and testing; 3. checklists and certification proforma; 4. bonding procedures. <p>Should further information be required regarding the road and stormwater component of the Operational Works Application, please contact Council's Officer, Xavier Dubreuil on phone (07) 5433 2739.</p>
7	Acceptance Based on Applicant's Certification
	Council's acceptance of the above submission is based solely on the applicant's certification that the proposal conforms totally to Council's Planning Scheme, Planning Scheme Policies and standard drawings.
8	Biosecurity Act 2014 - Fire Ant Control
	<p>Significant portions of the Moreton Bay are within Fire Ant Biosecurity Zone 2 and must remain vigilant for the presence of fire ants. Under the Biosecurity Act 2014, individuals and businesses are responsible for ensuring that they follow the movement controls for specific organic materials to help prevent the spread of fire ants within South East Queensland's fire ant biosecurity zones. Movement of a fire ant carrier from within the fire ant biosecurity zone may need a biosecurity instrument permit.</p> <p>More information is available on https://www.fireants.org.au/treat/business--and-industry/movement-controls</p>

ATTACHMENT 3

Approved Plans / Documents

LILYWOOD LANDINGS

STAGE 7 - OPERATIONAL WORKS

FOR FOREVERLEN PTY LTD



LOCALITY PLAN
N.T.S.

CITY OF MORTON BAY
LOT 12 ON RP 866105
AREA OF SITE: 2.040ha
DA 2021/4669



DWG NO.	DESCRIPTION
1000	GENERAL
1000	TITLE SHEET & LOCALITY PLAN
1100	KEY PLAN
1100	SITE LAYOUT PLAN
1200	RETAINING WALL SETOUT
1200	RETAINING WALL SETOUT PLAN
1201	RETAINING WALL NOTES AND DETAILS
1300	CONTROL LINE SETOUT
1300	CONTROL LINE SETOUT PLAN
1310	ROADWORKS LAYOUT PLAN
1310	ROADWORKS LAYOUT PLAN
1330	LONGITUDINAL AND CROSS SECTIONS
1330	ROAD 19 LONGITUDINAL AND CROSS SECTION
1400	STORMWATER LAYOUT PLANS
1400	STORMWATER LAYOUT PLAN
1401	STORMWATER NOTES AND DETAILS
1410	STORMWATER CATCHMENT PLAN
1410	STORMWATER CATCHMENT PLAN
1420	STORMWATER LONGITUDINAL SECTIONS
1420	STORMWATER LONGITUDINAL SECTIONS
1430	STORMWATER CALCULATION TABLES MINOR
1431	STORMWATER CALCULATION TABLES MAJOR
1500	SEWER RETICULATION PLANS
1500	SEWER RETICULATION COVER SHEET
1501	SEWER RETICULATION LAYOUT PLAN
1510	SEWER LONGITUDINAL SECTIONS
1510	SEWER RETICULATION LONGITUDINAL SECTIONS
1600	WATER RETICULATION PLANS
1600	WATER RETICULATION COVER SHEET
1601	WATER RETICULATION LAYOUT PLAN
1602	WATER RETICULATION FIRE HYDRANT COVERAGE PLAN
1603	WATER RETICULATION DETAILS

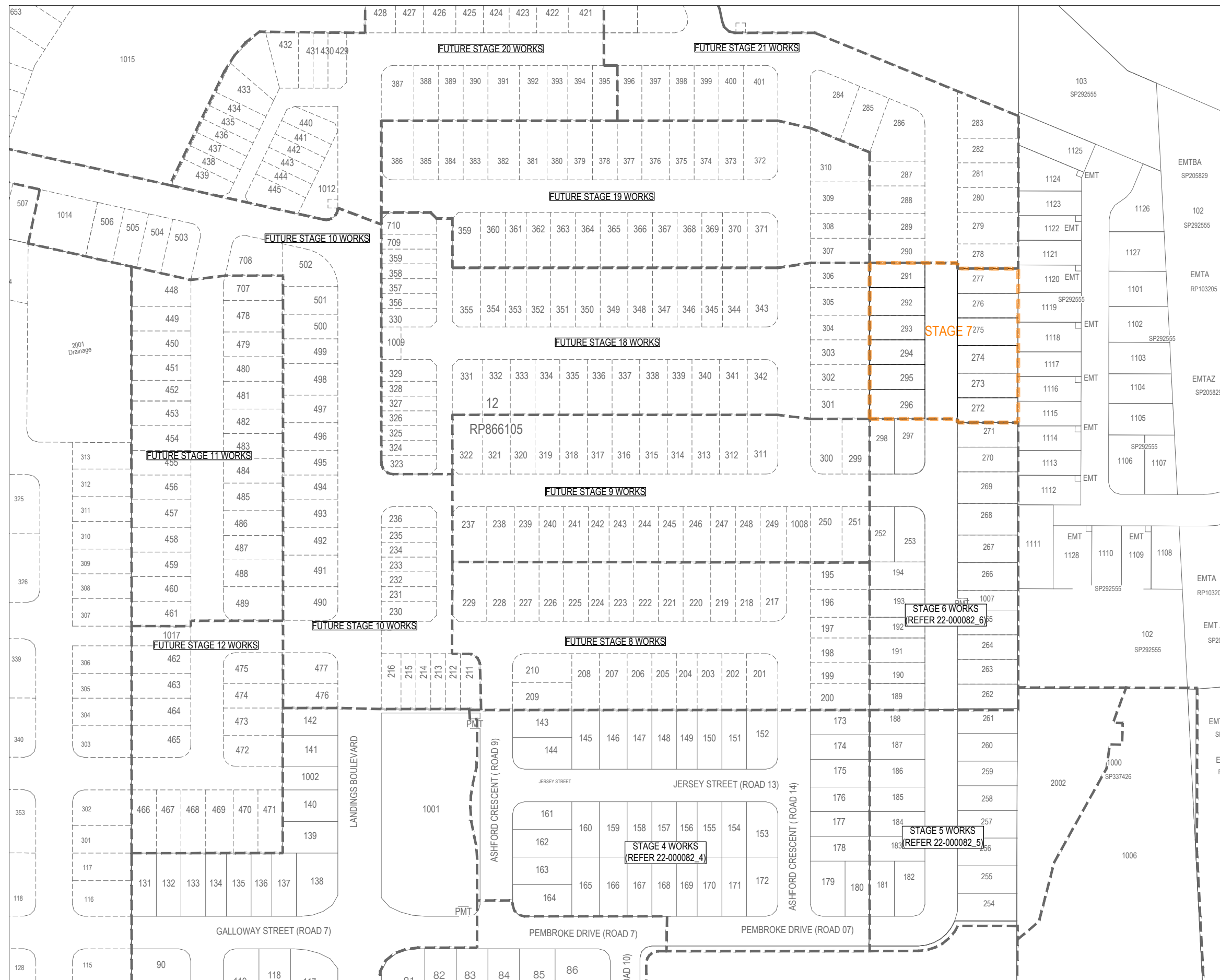
CONSTRUCTION HOLD POINT
PRIOR TO CONSTRUCTION THE CONTRACTOR
SHALL VERIFY LEVELS OF ALL EXISTING
CROSSINGS AND CONNECTION POINTS.

CONSTRUCTION NOTE
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH:
- BULK EARTHWORKS SET - 22-000082_EWKS
- STAGE 4 SET - 22-000082_4
- STAGE 5 SET - 22-000082_5
- STAGE 5 SET - 22-000082_6
- BAF NORTH-SOUTH TRUNK GRAVITY SEWER SET - 22-000027_NSTS
- GEOTECHNICAL REPORT
- LANDSCAPE PLANS (BY AECOM)
- ELECTRICAL / COMMS PLANS (BY CV SERVICES)
- VEGETATION CLEARING & MANAGEMENT PLAN (VCMP) (BY SAUNDERS HAVILL)
- ECOLOGICAL REPORT
- CULTURAL HERITAGE MANAGEMENT PLAN (CHMP)






IMAGINE. CREATE. ACHIEVE.
a sustainable future

PROJECT No.:	STAGE:	MILESTONE:	REVISION DATE:	DRAWING No.:	REVISION:
22-000082_7	7	OPW	24.01.25	1000	A





LEGEND

-  STAGE BOUNDARY
 EXISTING/FUTURE STAGE BOUNDARY
 PROPOSED LOT BOUNDARY
 EXISTING LOT BOUNDARY
 FUTURE LOT BOUNDARY

[illegible]

DISCLAIMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.

STATUS	
FOR APPROVAL	
APPROVED	
BY: RYAN ASHWORTH	NO: 19674
SIGN: <i>Ryan Ashworth</i>	DATE: 24.01.25

AY Approv

SCALE

1:500 10 5 0 10 20m A1

1:1000 A3

Subject to Condition



334

of Decision Noti

CLIENT

LENNIUM
GROUP

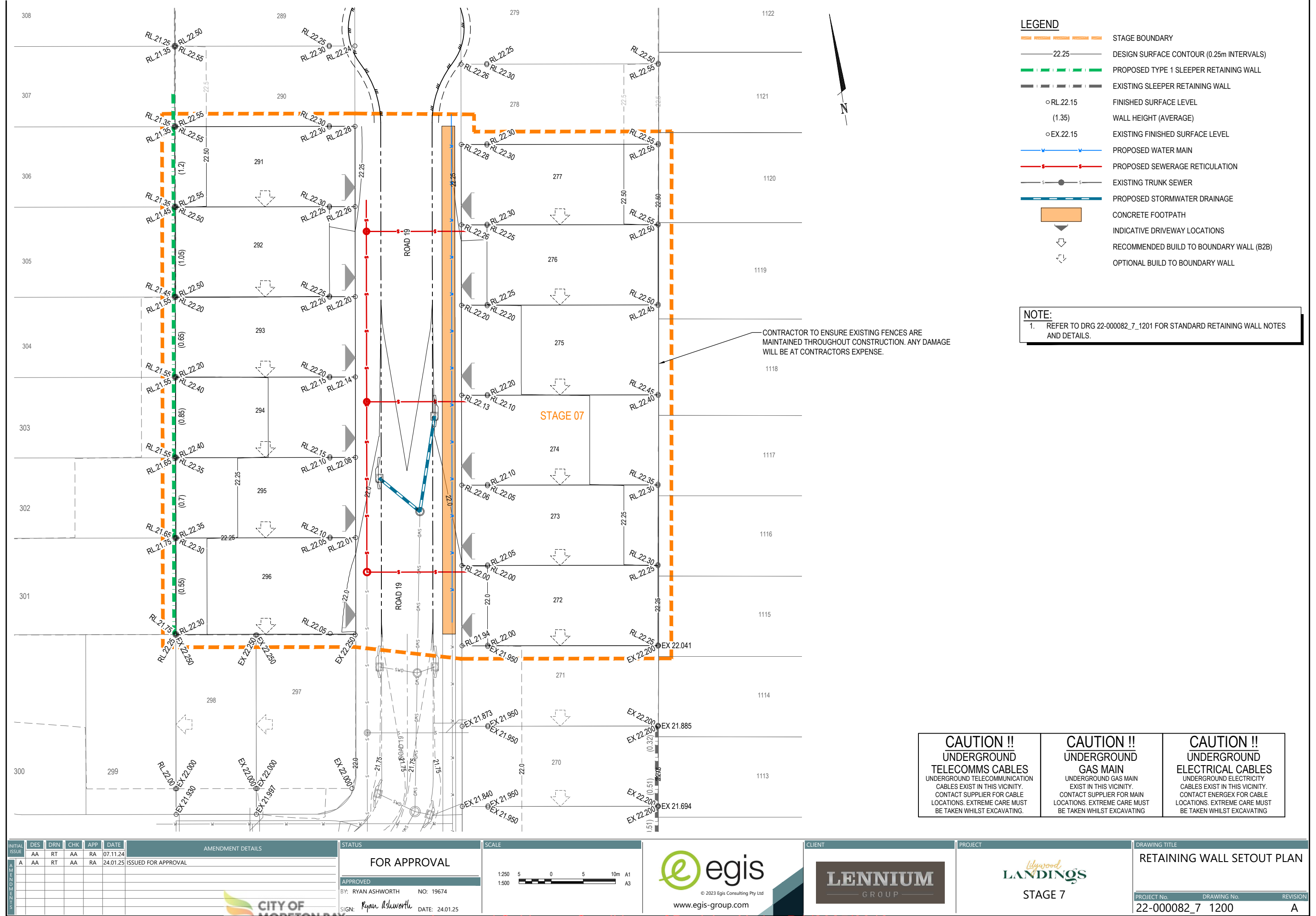
PROJECT



Lidgywood
LANDINGS

STAGE 7

DRAWING TITLE		
SITE LAYOUT PLAN		
PROJECT No.	DRAWING No.	REVISION
22-000082	7 1100	A



RETAINING WALL DESIGN AND CONSTRUCT NOTES:

1. CONCRETE SLEEPER RETAINING WALL IS A DESIGN AND CONSTRUCT ITEM.
2. CONTRACTOR SHALL ENGAGE A RPEQ STRUCTURAL ENGINEER WITH SUITABLE RETAINING WALL EXPERIENCE.
3. FOLLOWING DESIGN PARAMETERS SHALL BE ADOPTED.

a) SURCHARGE LOAD 5kPa FOR INTERALLOTMENT WALLS.

b) SURCHARGE LOAD 20kPa WHERE WALLS ARE SUPPORTING ROADS OR DRIVEWAYS.

c) ALLOW FOR WIND AND DEAD LOADS FOR SOLID 1.8m HIGH FENCE, OR HIGHER IF SPECIFIED IN THE ACOUSTIC REPORT.

d) ALLOW FOR MAX 1 IN 4 SLOPE AT TOP AND TOE OF WALLS.

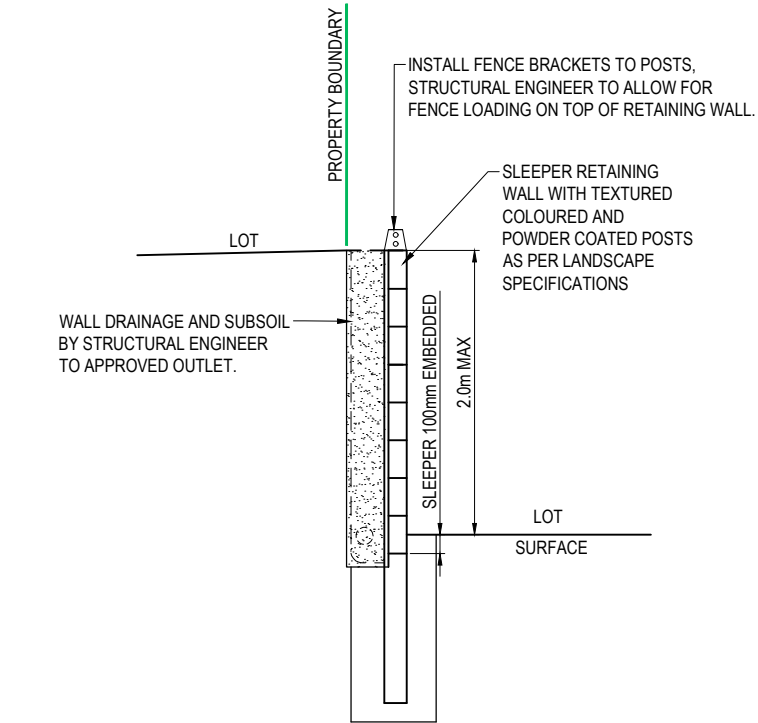
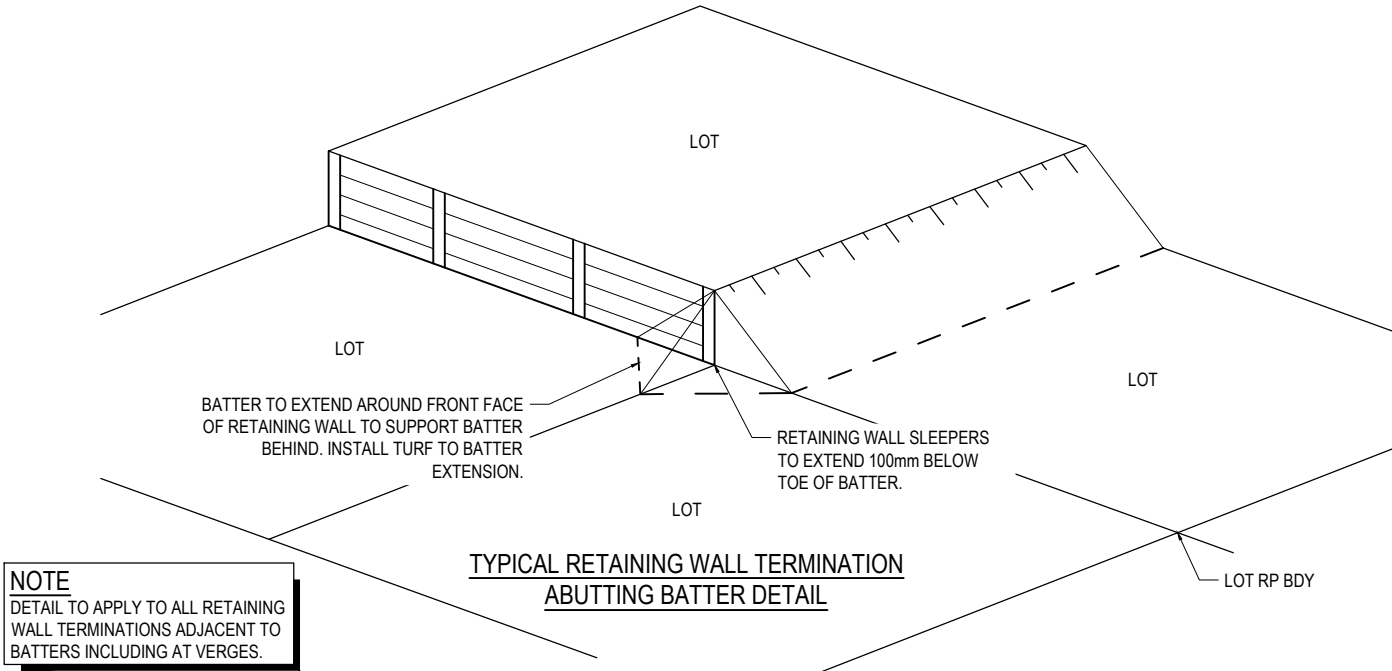
e) TORSIONALLY RIGID BEAMS SUCH AS UC SECTION SHALL BE SPECIFIED.

f) DESIGN SHALL ACHIEVE 60 YEAR DESIGN LIFE. OR DESIGN LIFE SPECIFIED BY THE RELEVANT AUTHORITY.

g) CONTRACTOR SHALL ARRANGE GEOTECHNICAL INVESTIGATION AND STRUCTURAL DESIGN SHALL ALLOW FOR CONDITIONS IDENTIFIED IN INVESTIGATION.

h) WALL DESIGN SHOULD INCLUDE FOUNDATION LEVELS WITH THEIR LINE OF INFLUENCE CLEAR OF ANY PROPOSED UTILITY SERVICES INSTALLATIONS
4. CONTRACTOR SHALL PROVIDE RPEQ CERTIFIED STRUCTURAL DESIGN PRIOR TO CONSTRUCTION AND FORM 15 CERTIFICATION.
5. CONTRACTOR SHALL ARRANGE FOR RPEQ INSPECTIONS DURING CONSTRUCTION AND PROVIDE RPEQ CERTIFIED FORM 16 PRIOR TO PRACTICAL COMPLETION BEING AWARDED.
6. CONTRACTOR TO CONSIDER NEARBY EXISTING AND PROPOSED SERVICES WITHIN RPEQ DESIGN OF WALLS, AND TO OBTAIN BUILD OVER ASSET APPROVALS WITH THE RELEVANT AUTHORITIES AS REQUIRED BY THE AUTHORITIES' SPECIFICATIONS, PRIOR TO CONSTRUCTION. CONTRACTOR TO PROVIDE BUILD OVER ASSET APPROVALS TO THE SUPERINTENDENT, PRIOR TO CONSTRUCTION.
7. RETAINING WALLS TO BE CONSTRUCTED TO MANUFACTURERS SPECIFICATIONS.
8. PROVIDE APPROVED SAFETY FENCE TO ALL WALLS HIGHER THAN 1.0m.
9. CONTRACTOR TO ENSURE ALL WORKS ADJACENT TO EXISTING RETAINING WALLS IS UNDERTAKEN SO AS NOT TO IMPACT ON THE STRUCTURAL INTEGRITY OF THE EXISTING WALLS. SUBSOIL OUTLETS FOR EXISTING RETAINING WALLS TO BE KEPT FREE DRAINING AT ALL TIMES.
10. WALL ALIGNMENT IS TO BE PEGGED FOR INSPECTION BY SUPERINTENDENT PRIOR TO CONSTRUCTION.

11. WALLS TO BE VERTICAL FACE TYPE TO A MAXIMUM HEIGHT OF 2.0m. TYPE, FINISH AND COLOUR TO BE APPROVED BY SUPERINTENDENT, UNLESS NOTED OTHERWISE.
12. CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRUCTURAL DESIGN, CONSTRUCTION SUPERVISION AND STRUCTURAL CERTIFICATION BY A SUITABLY QUALIFIED AND EXPERIENCED, REGISTERED STRUCTURAL ENGINEER (RPEQ) FOR ALL WALLS 1.0m HIGH OR GREATER.
13. BE LODGED FOR EARTH RETAINING STRUCTURES >1000mm HIGH.
14. ALL WALLS TO BE DESIGNED BASED ON A GEOTECHNICAL ASSESSMENT OF INSITU SOILS BY A SUITABLY QUALIFIED ENGINEER. SHOULD WALLS REQUIRE ADDITIONAL FOOTINGS AND/OR FOUNDATION SUPPORT, THESE ARE TO BE FACTORED INTO THE DESIGN AND THE TENDERED COST OF THE WALLS.
15. PRIVATE WALLS INCLUDING FOOTING TO BE CONTAINED WHOLLY WITHIN PRIVATE PROPERTY AND ARE TO BE FULLY CONTAINED WITHIN THE LOWER LOT UNLESS WALL ABUTS ROAD RESERVE/PARK, IN WHICH CASE THE WALL SHALL BE CONTAINED WHOLLY WITHIN THE PRIVATE PROPERTY.
16. SUBSOIL DRAINAGE BEHIND ALL WALLS TO INCLUDE DISCHARGE PIPE INTO THE NEAREST STORMWATER STRUCTURE (OR DEDICATED KERB ADAPTOR) AND MUST BE FREE DRAINING. ALL WALL DRAINAGE LINES DISCHARGING THROUGH LOTS OR ROAD VERGE TO BE SOLID uPVC (NO SLOTS) AND MUST BE FREE DRAINING.
17. WALLS ARE TO BE CAPABLE OF SUPPORTING TWO STOREY "HEAVY CONSTRUCTION" BUILDINGS.
18. CONTRACTOR TO PROVIDE & MAINTAIN SAFETY FENCE TO ALL WALLS GREATER THAN 1.0m IN HEIGHT.
19. A MINIMUM 600mm CLEARANCE IS TO BE MAINTAINED BETWEEN THE OUTSIDE OF THE BORED PIERS AND THE OUTSIDE OF ANY SEWER MAIN OR ROOFWATER PIPE IN THE VICINITY OF THE RETAINING WALL.
20. RETAINING WALL DESIGN AND CONSTRUCTION TO CONSIDER AND CATER FOR ALL SERVICES LOCATED UNDER, OR IN THE VICINITY OF, THE RETAINING WALL.
21. ALL WALLS TO BE DESIGNED TO ALLOW FOR 1.8m HIGH ENCLOSED FENCE.
22. WHERE APPLICABLE, RETAINING WALL DESIGN AND CONSTRUCTION SHALL MAKE ANY NECESSARY ALLOWANCES TO FACILITATE AND ENABLE FUTURE RETAINING WALL JOINTS/CONNECTIONS/EXTENSIONS.
23. EXTENT OF ALL WALLS TO BE CONFIRMED BY CONTRACTOR WITH SUPERINTENDENT PRIOR TO STARTING CONSTRUCTION.
24. ORANGE MESH SAFETY FENCING TO BE ERECTED ON TOP OF WALL 1.0m HIGH OR GREATER AND MAINTAINED UNTIL OFF-MAINTENANCE.



TYPICAL SINGLE TIER CONCRETE SLEEPER RETAINING WALL AT BDY TYPE 1 (INCLUDING B2B WALLS)

N.T.S

- MINIMUM DESIGN REQUIREMENTS**
- SURCHARGE LOADING ON BACKFILL : 5KPa FOR RESIDENTIAL LOTS AND 20KPa FOR ROAD RESERVE.
 - POST AND FOOTING DESIGN TO ALLOW FOR MIN. 1.8m HIGH FENCE OR HIGHER IF SPECIFIED IN THE ACOUSTIC REPORT.
 - MAX 1V:4H SLOPE BEHIND WALL

- NOTES:**
1. RETAINING WALLS TO BE CONSTRUCTED TO MANUFACTURERS SPECIFICATIONS.
 2. CONTRACTOR TO PROVIDE STRUCTURAL CERTIFICATION FOR RETAINING WALLS DESIGN AND CONSTRUCTION.
 3. PROVIDE APPROVED SAFETY FENCE TO ALL WALLS HIGHER THAN 1.0m.
 4. ALL RETAINING WALL FOOTINGS TO BE LOCATED A MINIMUM 1.0m HORIZONTALLY CLEAR OF THE ROOFWATER AND SEWER AND BE TAKEN BELOW THE ZONE OF INFLUENCE.

INITIAL	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS	
A	AA	RT	AA	RA	07.11.24		
	AA	RT	AA	RA	24.01.25	ISSUED FOR APPROVAL	

DISCLAIMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE

STATUS		SCALE
FOR APPROVAL		
APPROVED		
BY: RYAN ASHWORTH	NO: 19674	
SIGN: <i>Ryan Ashworth</i>	DATE: 24.01.25	

SCALE



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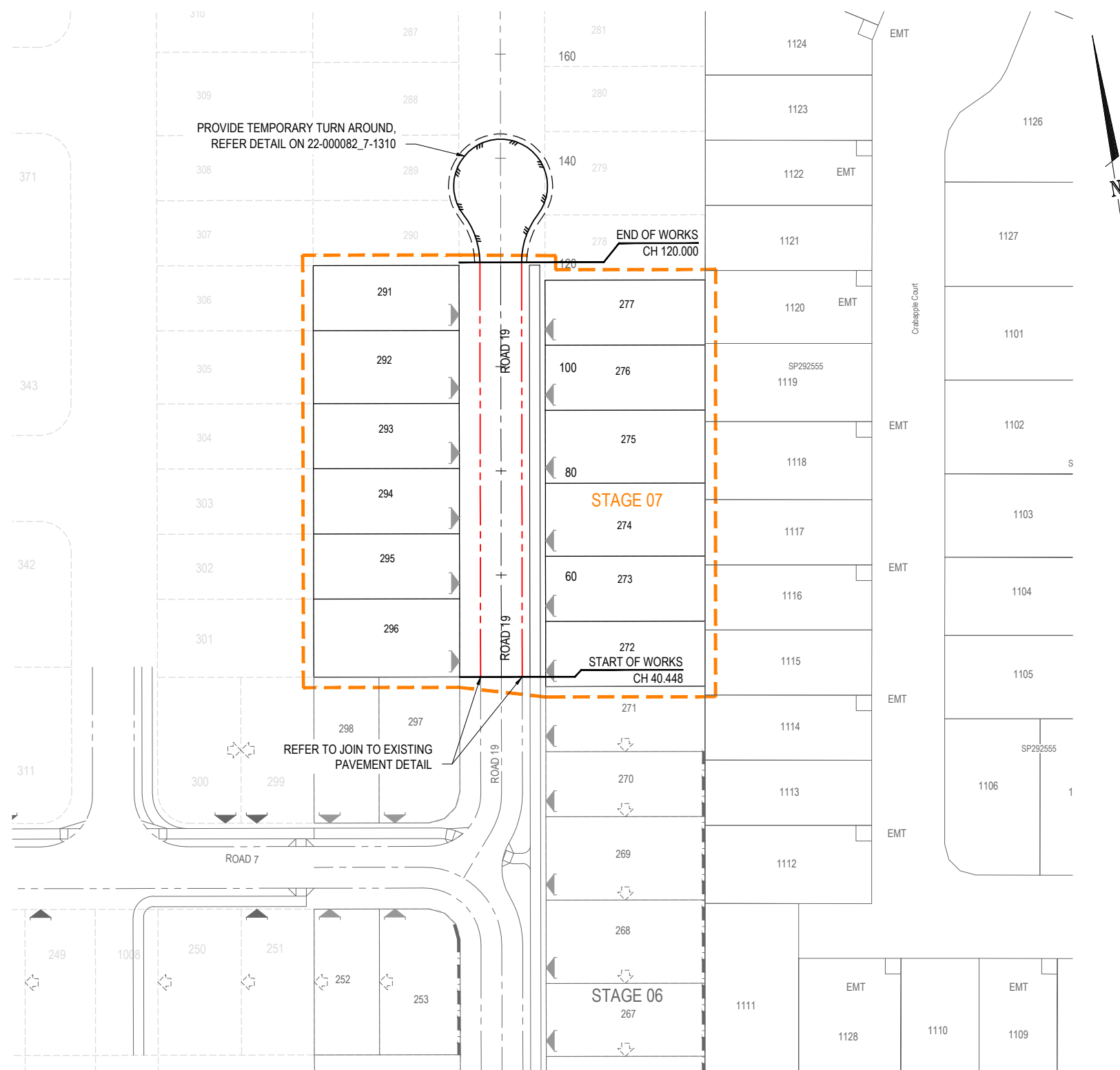


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STAGE 7







DRAWING TITLE		
RETAINING WALL NOTES AND DETAILS		
PROJECT No.	DRAWING No.	REVISION
22-000082_7	1201	A

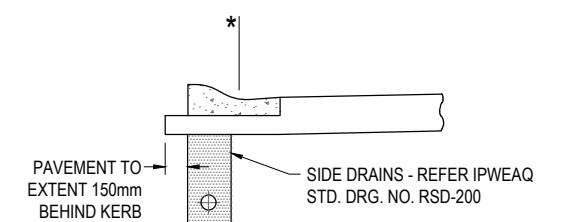
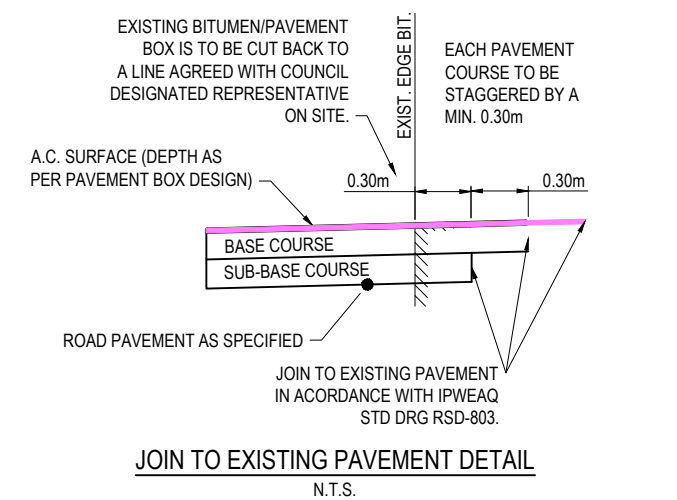


Road 19 HORIZONTAL POINTS

PT	CHAINAGE	EASTING	NORTHING	BEARING	RAD/SPIRAL	A.LENGTH	DEFL.ANGLE
IP 1	40.448	91091.633	502505.654	8°49'28.40"			
IP 2	119.448	91103.731	502583.580	8°49'28.40"			

LEGEND

- | | |
|---|------------------------------------|
|  | STAGE BOUNDARY |
|  | CONTROL LINE |
|  | MOUNTABLE KERB & CHANNEL TYPE 'M3' |
|  | INDICATIVE DRIVEWAY LOCATIONS |
|  | BUILD TO BOUNDARY - OPTIONAL |
|  | BUILD TO BOUNDARY - MANDATORY |



MOUNTABLE KERB AND CHANNEL
TYPE M3 IPWEAQ

SCALE 1 : 25

* NOMINAL KERB LINE

NOTE:
REFER TO DRG 22-000082_7_1300 FOR
DRG LEGEND.

[illegible]

DISCLAIMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE.

STATUS	
FOR APPROVAL	
APPROVED	
BY: RYAN ASHWORTH	NO: 19674
SIGN: <i>Ryan Ashworth</i>	DATE: 24.01.25

SCALE

1:500 10 5 0 10 20m A1

1:1000 A3

A horizontal scale bar with alternating black and white segments. Above the bar, the scale 1:500 is indicated, with markings for 10, 5, 0, 10, and 20m. To the right of the bar is the label A1. Below the bar, the scale 1:1000 is indicated, and to the right is the label A3.

CLIENT

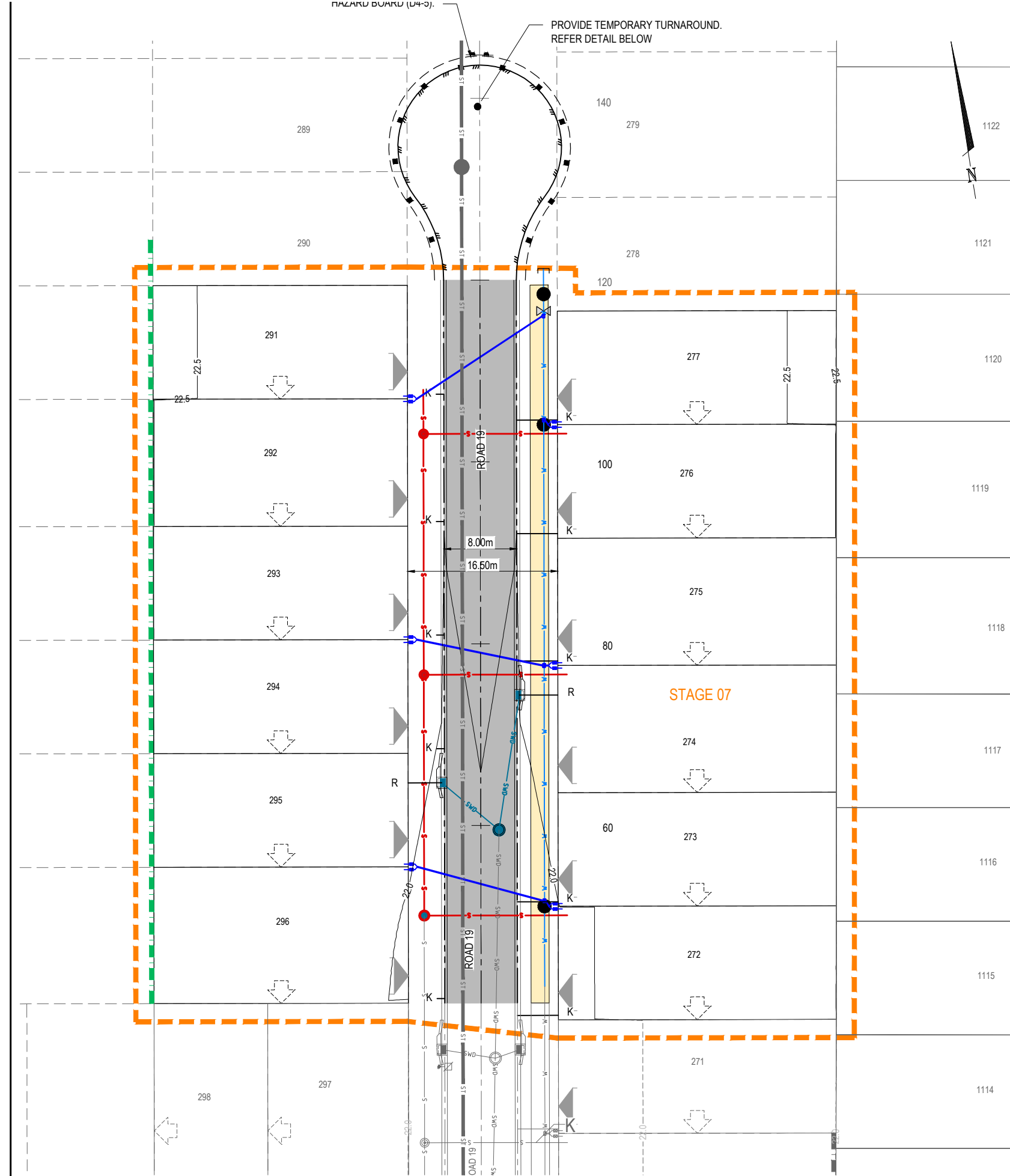
LENNIUM
GROUP

PROJECT

Lidgwood LANDINGS

STAGE 7

DRAWING TITLE		
CONTROL LINE SETOUT PLAN		
PROJECT No.	DRAWING No.	REVISION
22-000082	7 1300	A



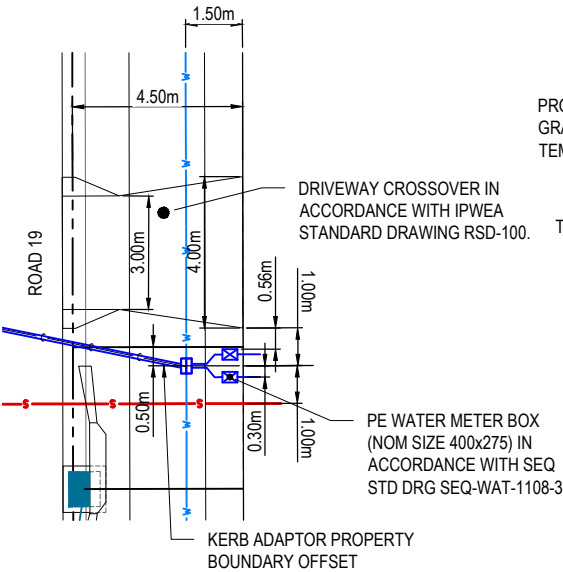
ROADWORKS NOTES

1. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH CURRENT MORETON BAY REGIONAL COUNCIL STANDARD DRAWINGS AND METHODS.
2. NOTWITHSTANDING THE LIMITS OF CUTTING AND FILLING SHOWN ON THE CROSS SECTIONS, THE ACTUAL LIMITS SHALL BE DETERMINED ON-SITE BY THE SUPERINTENDENT DURING CONSTRUCTION AND SIMILARLY THE FINISHED SURFACE CONTOURS MAY BE ADJUSTED BY WRITTEN DIRECTION OF THE SUPERINTENDENT DURING CONSTRUCTION.
3. KERB RAMPS AS PER CMB STANDARD DRAWING PC-2101. FOOTPATH CONSTRUCTION AS PER IPWEA STANDARD DRAWING PCD-101. RESIDENTIAL DRIVEWAY CROSSOVERS AS PER IPWEA STANDARD DRAWINGS RSD-100 & RSD-101.
4. LEVELS FOR KERB AND CHANNELING CONSTRUCTION ARE AT EQUAL INTERVALS AT LIP OF CHANNEL UNLESS SHOWN OTHERWISE.
5. SIDE DRAINS TO BE CONSTRUCTED UNDER ALL KERBS AND ALL KERB AND CHANNEL AND IN LOCATIONS DIRECTED BY THE SUPERINTENDENT IN ACCORDANCE WITH MORETON BAY REGIONAL COUNCIL STANDARDS.
6. LEVELS AND GRADIENTS AT JUNCTIONS WITH EXISTING WORKS MAY BE VARIED AS REQUIRED TO ACHIEVE A SATISFACTORY CONNECTION AND THE CONTRACTOR SHALL INCLUDE THE COST OF THIS WORK IN THE TENDER PRICE. WHERE NEW WORK JOINS EXISTING, THE WORK SHALL TRANSITION NEATLY WITH THE PAVEMENT SO THAT DEVIATION FROM THE LINE OF A 3.0m STRAIGHT EDGE SHALL BE NO GREATER THAN 10mm.
7. SUBGRADE TEST RESULTS TO BE FORWARDED TO SUPERINTENDENT. FOR DETERMINATION OF BOX DEPTHS PRIOR TO EXCAVATION, TESTS SHALL INCLUDE SOAKED CBR AND/OR OTHER TESTS AS REQUESTED BY THE SUPERINTENDENT.
8. CONTRACTOR TO LIAISE WITH ALL RELEVANT SERVICE AUTHORITIES TO ASCERTAIN SERVICES PRESENT ON-SITE. ANY ALTERATION WORKS TO SERVICES WILL BE CARRIED OUT BY THAT SERVICE AUTHORITY ONLY.
9. FOOTPATHS AND BATTERS TO HAVE MINIMUM OF 75mm TOPSOIL (AND GRASSING IF ORDERED).
10. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF DEMOLISHING ANY EXISTING STRUCTURES WITHIN THE SITE AREAS.
11. WORKS SHALL BE PROGRAMMED SO AS NOT TO DISTURB NEARBY HOUSEHOLDERS EITHER BY DUST, NOISE, FLOODING OR DISCONNECTION OF SERVICES.
12. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH WORKPLACE HEALTH AND SAFETY REQUIREMENTS.

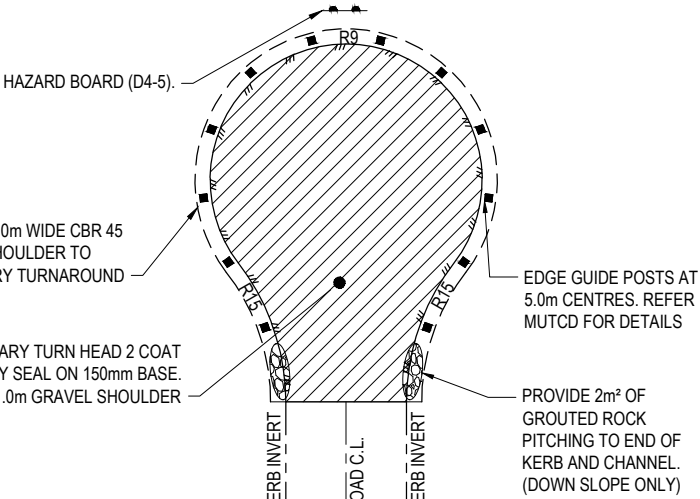
LEGEND

- STAGE BOUNDARY
- STORMWATER DRAINAGE
- EXISTING STORMWATER DRAINAGE
- MAINTENANCE HOLE
- GULLY PIT
- OUTLET STRUCTURE
- EXISTING STORMWATER STRUCTURE
- CONCRETE FOOTPATH (2m WIDE)
- ASPHALT SURFACING
- MOUNTABLE KERB & CHANNEL TYPE 'M3'
- EDGE OF BITUMEN
- EXISTING SURFACE CONTOUR (0.50m INTERVALS)
- DESIGN SURFACE CONTOUR (0.50m INTERVALS)
- PROPOSED WATER MAIN
- EXISTING WATER MAIN
- PROPOSED SEWERAGE RETICULATION
- EXISTING SEWERAGE RETICULATION
- PROPOSED KERB ADAPTER
- PROPOSED KERB ADAPTER + LINE UNDER PATH
- PROPOSED ROOF WATER LINE
- PROPOSED TYPE 1 SLEEPER RETAINING WALL
- EXISTING SLEEPER RETAINING WALL
- INDICATIVE DRIVEWAY LOCATION
- BUILD TO BOUNDARY - OPTIONAL
- BUILD TO BOUNDARY - MANDATORY
- EXISTING TRUNK SEWER

SERVICE CLEARANCE NOTE:
MINIMUM VERTICAL CLEARANCE BETWEEN
SEWER H.C. AND WATER METER OF 700mm.



TYPICAL DRIVEWAY AND LOT SERVICE CONNECTION LAYOUT
SCALE 1:50 (A1)



ROAD 19 - TYPICAL TEMPORARY
TURNAROUND AREA DETAIL
SCALE 1:250(A1)
SCALE 1:500(A3)

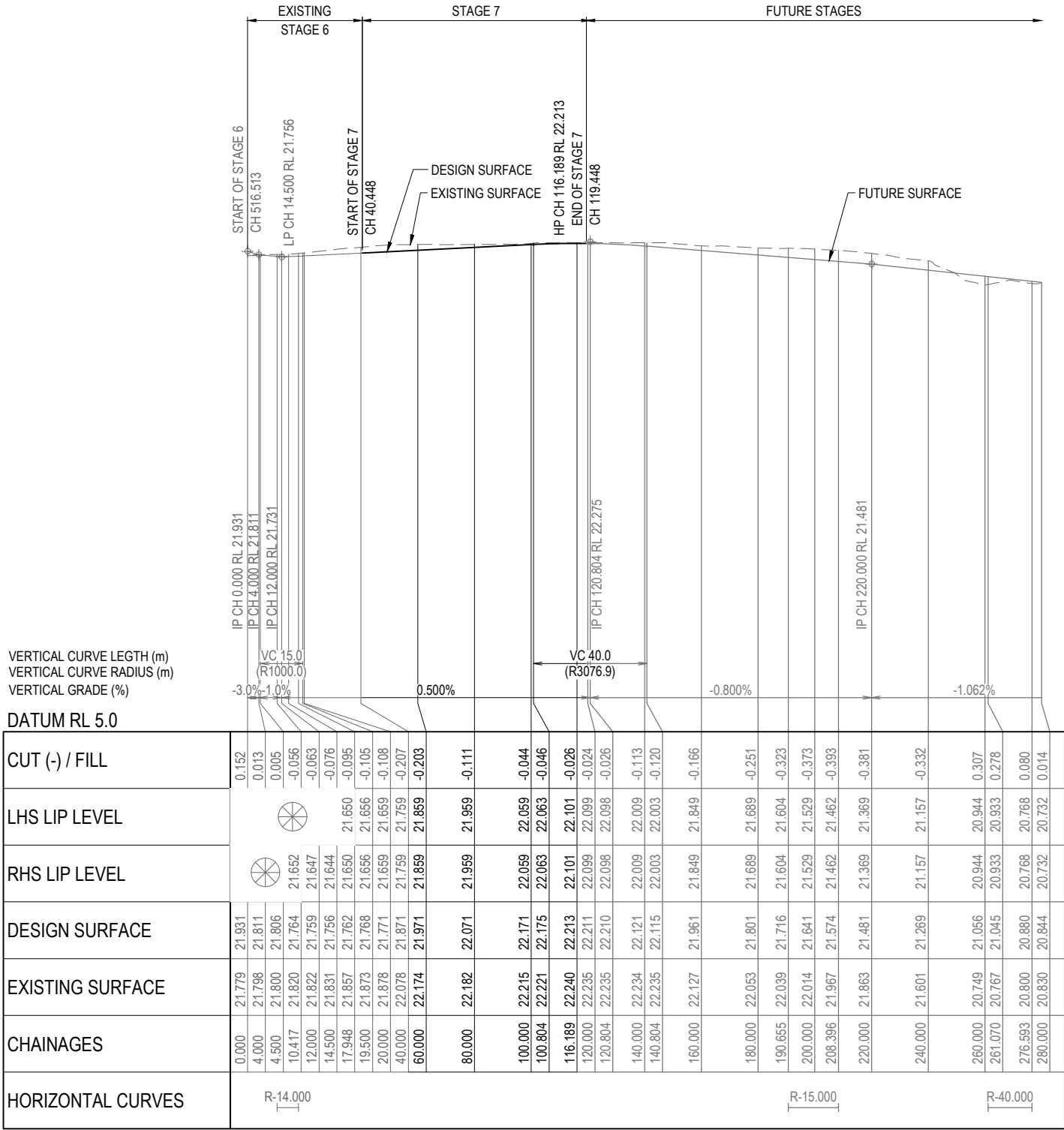
INITIAL	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
AA	RT	AA	RA	08.11.24		
A	AA	RT	AA	24.01.25	ISSUED FOR APPROVAL	

STATUS
FOR APPROVAL
APPROVED
BY: RYAN ASHWORTH NO: 19674
SIGN: Ryan Ashworth DATE: 24.01.25

SCALE
1:50 1 0.5 0 1 2m A1
1:100 1 0.5 0 1 2m A3
1:250 5 0 5 10m A1
1:500 5 0 5 10m A3



DRAWING TITLE
ROADWORKS LAYOUT PLAN
PROJECT No. 22-000082_7
DRAWING No. 1310
REVISION A



REFER INTERSECTION DETAILS FOR LEVELS

LONGITUDINAL SECTION - Road 19

HORIZ SCALE: 1000
VERTICAL SCALE: 100

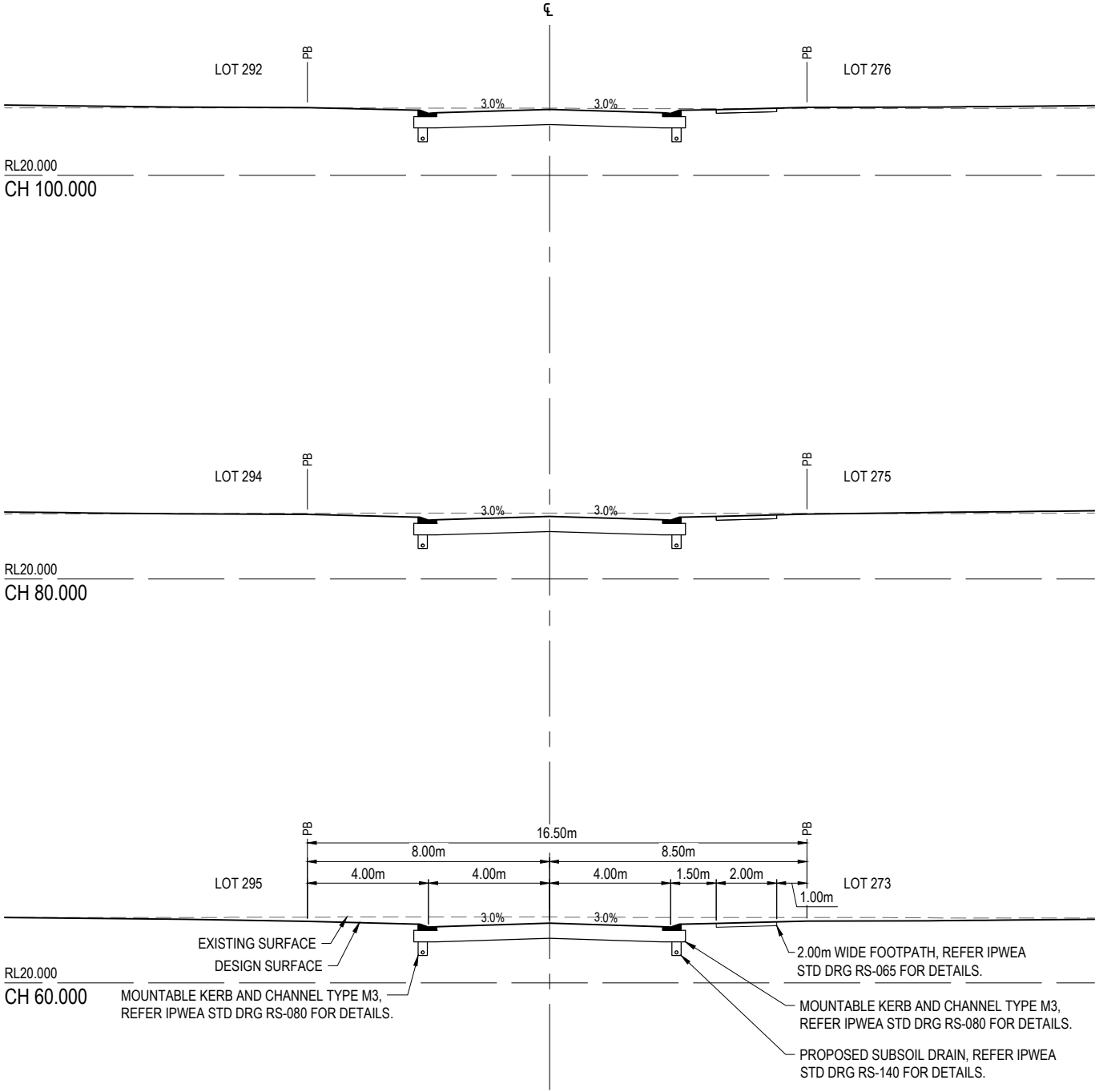
PRELIMINARY ROAD 19 PAVEMENT DESIGN

ROAD	SUBGRADE CBR	TRAFFIC ESA'S	ROAD CLASS	AC SURFACING (mm)	BASE (mm)	SUB-BASE (mm)	LOWER SUB-BASE (mm)	TOTAL BOX (mm)
ROAD 19	3*	1.2 X 10 ⁵	LIVING RESIDENTIAL	25mm BCC TYPE 2	100	100	300	525

* ASSUMED SUBGRADE CBR

NOTE:

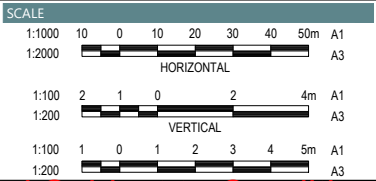
- PRELIMINARY PAVEMENT DESIGNS HAVE BEEN BASED ON AN ASSUMED SUBGRADE CBR. ACTUAL PAVEMENT DESIGNS WILL BE BASED ON TEST RESULTS TAKEN AFTER STRIPPING HAS BEEN COMPLETED.
- WHEN THE TOTAL PAVEMENT DEPTH (AS DETERMINED BY SUBGRADE TESTS) EXCEEDS THE NORMAL DEPTH, THE PAVEMENT GRAVEL SHALL EXTEND UNDER THE KERB AND CHANNEL TO 150mm BEHIND (TYP).



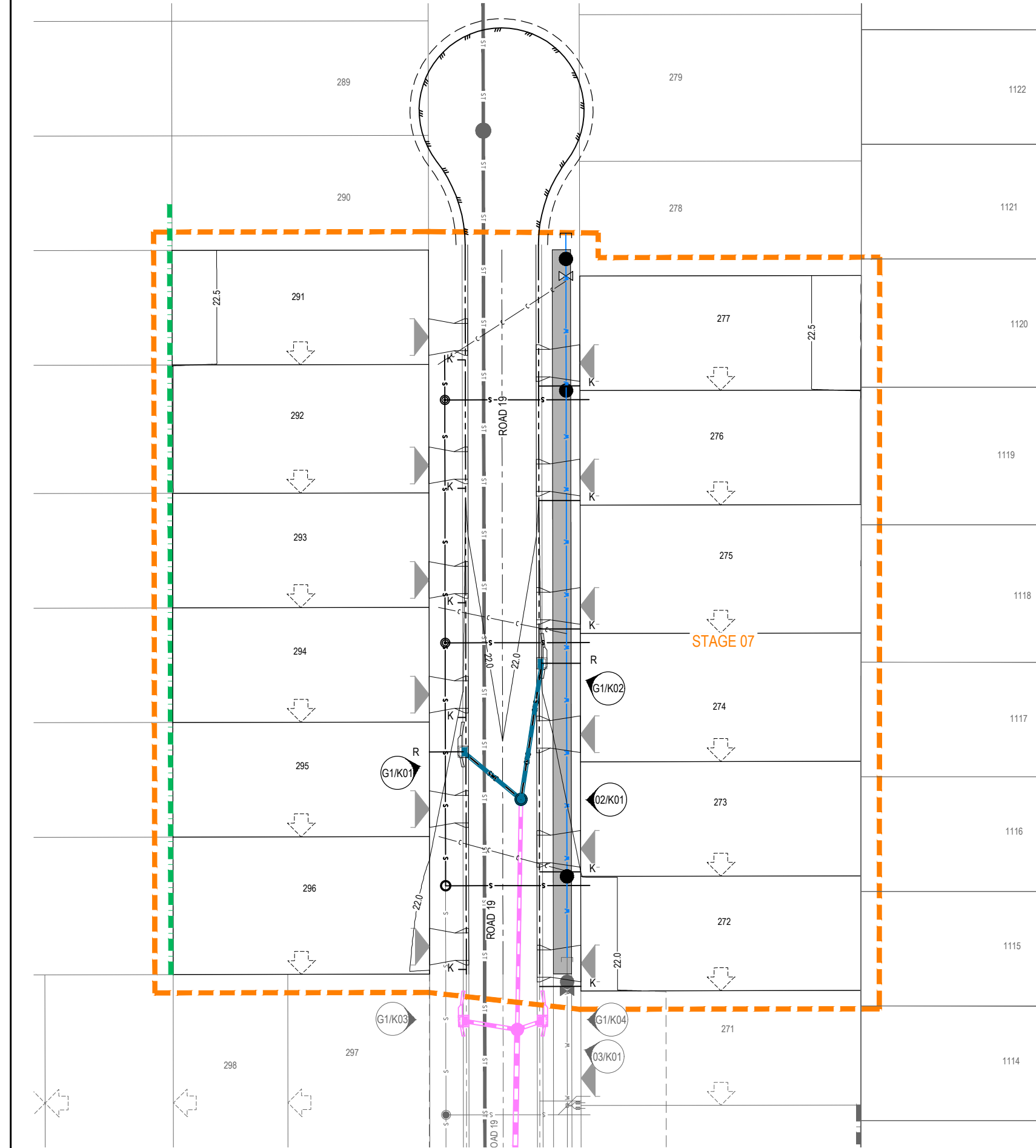
INITIAL ISSUE	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
A	AA	RT	AA	RA	08.11.24	
	AA	RT	AA	RA	24.01.25	ISSUED FOR APPROVAL



STATUS	FOR APPROVAL
APPROVED	
BY: RYAN ASHWORTH	NO: 19674
SIGN: Ryan Ashworth	DATE: 24.01.25



DRAWING TITLE	ROAD 19 LONGITUDINAL SECTION AND CROSS SECTIONS
PROJECT	STAGE 7
PROJECT No.	22-000082_7
DRAWING No.	1330
REVISION	A



LEGEND

- STAGE BOUNDARY
- STORMWATER DRAINAGE
- MAINTENANCE HOLE
- GULLY PIT
- OUTLET STRUCTURE
- ROCK SCOUR PROTECTION
- EXISTING SURFACE CONTOUR (0.5m INTERVALS)
- DESIGN SURFACE CONTOUR (0.50m INTERVALS)
- EXISTING STORMWATER DRAINAGE
- EXISTING MAINTENANCE HOLE
- EXISTING GULLY PIT
- EXISTING WATER RETICULATION
- EXISTING SEWER RETICULATION
- PROPOSED WATER MAIN
- PROPOSED WATER CONDUIT
- PROPOSED SEWERAGE RETICULATION
- PROPOSED TYPE 1 SLEEPER RETAINING WALL
- EXISTING SLEEPER RETAINING WALL
- PROPOSED KERB ADAPTER
- PROPOSED KERB ADAPTER + LINE UNDER PATH
- PROPOSED ROOF WATER LINE
- PROPOSED BATTERS
- CONCRETE FOOTPATH
- INDICATIVE DRIVEWAY LOCATION
- 5% AEP (20YR ARI) FLOOD LEVEL
- 1% AEP (100YR ARI) FLOOD LEVEL
- EXISTING TRUNK SEWER
- BUILD TO BOUNDARY - OPTIONAL
- BUILD TO BOUNDARY - MANDATORY

NOTE:

- REFER TO DRG 22-000082_7_1401 FOR STORMWATER STANDARD NOTES AND DETAILS.
- REFER TO DRG 22-000082_7_1410 FOR STORMWATER CATCHMENT PLAN.
- REFER TO DRGs 22-000082_7_1420 FOR STORMWATER LONGITUDINAL SECTIONS.
- REFER TO DRGs 22-000082_7_1430-1431 FOR STORMWATER CALCULATION TABLES.

CAUTION !!
UNDERGROUND
TELECOMMS CABLES
UNDERGROUND TELECOMMUNICATION CABLES EXIST IN THIS VICINITY. CONTACT SUPPLIER FOR CABLE LOCATIONS. EXTREME CARE MUST BE TAKEN WHILST EXCAVATING.

CAUTION !!
UNDERGROUND
GAS MAIN
UNDERGROUND GAS MAIN EXIST IN THIS VICINITY. CONTACT SUPPLIER FOR MAIN LOCATIONS. EXTREME CARE MUST BE TAKEN WHILST EXCAVATING.

CAUTION !!
UNDERGROUND
ELECTRICAL CABLES
UNDERGROUND ELECTRICITY CABLES EXIST IN THIS VICINITY. CONTACT ENERGEX FOR CABLE LOCATIONS. EXTREME CARE MUST BE TAKEN WHILST EXCAVATING.

INITIAL	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
AA	RT	AA	RA	08.11.24		
AA	RT	AA	RA	24.01.25	ISSUED FOR APPROVAL	

STATUS	
FOR APPROVAL	
APPROVED	
BY: RYAN ASHWORTH	NO: 19674
SIGN: Ryan Ashworth	DATE: 24.01.25

SCALE
1:250 5 0 5 10m A1
1:500

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CLIENT
LENNIUM
GROUP

PROJECT
lywood
LANDINGS
STAGE 7

DRAWING TITLE		
STORMWATER LAYOUT PLAN		
PROJECT No.	DRAWING No.	REVISION
22-000082_7	1400	A

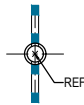
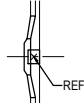

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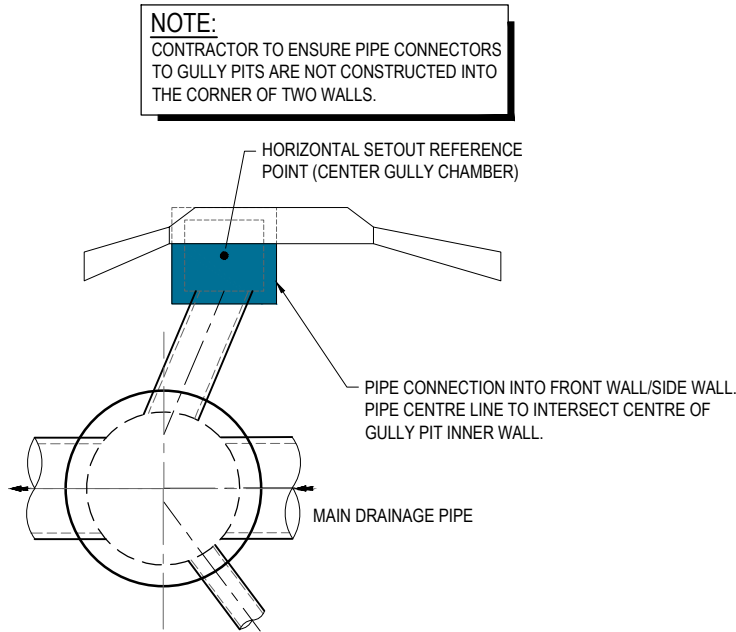
Approved Subject to Conditions of Decision Notice DA/2025/0346

STORMWATER DRAINAGE NOTES

1. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH CURRENT M.B.R.C STANDARD DRAWINGS AND METHODS.
2. ALL STORMWATER PIPES UNDER ROADWAYS AND FOOTPATHS SHALL BE RCP CLASS 3 U.N.O.
3. ALL STORMWATER PIPES UP TO AND INCLUDING 600Ø SHALL BE R.R.J. STORMWATER PIPES GREATER THAN 600Ø SHALL BE INTERNAL FLUSH JOINTED WITH PROPRIETARY EXTERNAL BAND.
4. ALL DIMENSIONS ARE IN METRES UNLESS SHOWN OTHERWISE.
5. CONTRACTOR TO LIAISE WITH ALL RELEVANT SERVICE AUTHORITIES TO ASCERTAIN SERVICES PRESENT ON-SITE. ANY ALTERATION WORKS TO SERVICES WILL BE CARRIED OUT BY THAT SERVICE AUTHORITY ONLY.
6. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF DEMOLISHING ANY EXISTING STRUCTURES WITHIN THE SITE AREAS.
7. THE STORMWATER PIPE CLASSES HAVE BE DESIGNED FOR SERVICE LOADS ONLY, AND THE CONTRACTOR SHALL ASSESS ANTICIPATED CONSTRUCTION LOADS AND UPGRADE THE PIPE CLASSES IF NECESSARY, IN ACCORDANCE WITH AS3725-2007.
8. RETAINING WALL SUBSOIL DRAINS TO CONNECT TO KERB AND CHANNEL SUBSOIL OR STORMWATER DRAINAGE STRUCTURES.
9. WORKS SHALL BE PROGRAMMED SO AS NOT TO DISTURB NEARBY HOUSEHOLDERS EITHER BY DUST, NOISE, FLOODING OR DISCONNECTION OF SERVICES.
10. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH WORKPLACE HEALTH AND SAFETY REQUIREMENTS.
11. ANTI PONDING GULLIES ARE TO BE SIDE ENTRY TYPE. CHAMBER AND GRATE ONLY TYPE NOT TO BE USED.
12. GULLY PITS IN EXCESS OF 1.5 METRES DEEP ARE TO BE CONSTRUCTED AS A GULLY PIT/ACCESS CHAMBER STRUCTURE.
13. CRACKS IN STORMWATER PIPES WILL NOT BE ACCEPTED.
14. LEVELS AND GRADIENTS AT JUNCTIONS WITH EXISTING WORKS MAY BE VARIED AS REQUIRED TO ACHIEVE A SATISFACTORY CONNECTION AND THE CONTRACTOR SHALL INCLUDE THE COST OF THIS WORK IN THE TENDER PRICE. WHERE NEW WORK JOINS EXISTING, THE WORK SHALL TRANSITION NEATLY WITH THE PAVEMENT SO THAT DEVIATION FROM THE LINE OF A 3.0m STRAIGHT EDGE SHALL BE NO GREATER THAN 10mm.
15. CONDUITS SHALL BE IN ACCORDANCE WITH I.P.W.E.A STD. DRG. RSD-602.
16. ALL EXCAVATION AND FILLING SHALL BE COMPACTED TO THE REQUIREMENTS OF AS3798-2007 IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.
17. ALL LEVELS ARE IN METRES ABOVE AUSTRALIAN HEIGHTS DATUM (mAHD) UNLESS OTHERWISE SHOWN

REFERENCE POINT LOCATION FOR DRAINAGE STRUCTURES

STRUCTURE TYPE	HORIZONTAL CONTROL (REFERENCE POINT LOCATION)	VERTICAL CONTROL (REFERENCE LEVEL)
MANHOLE		CL OF MAIN SHAFT FINISHED SURFACE LEVEL
GULLY PIT		GEOMETRIC CENTRE OF PIT STRUCTURE KERB LIP LEVEL
HEADWALL		INTERSECTION OF HEADWALL FACE AND PIPE CL INVERT OF HEADWALL

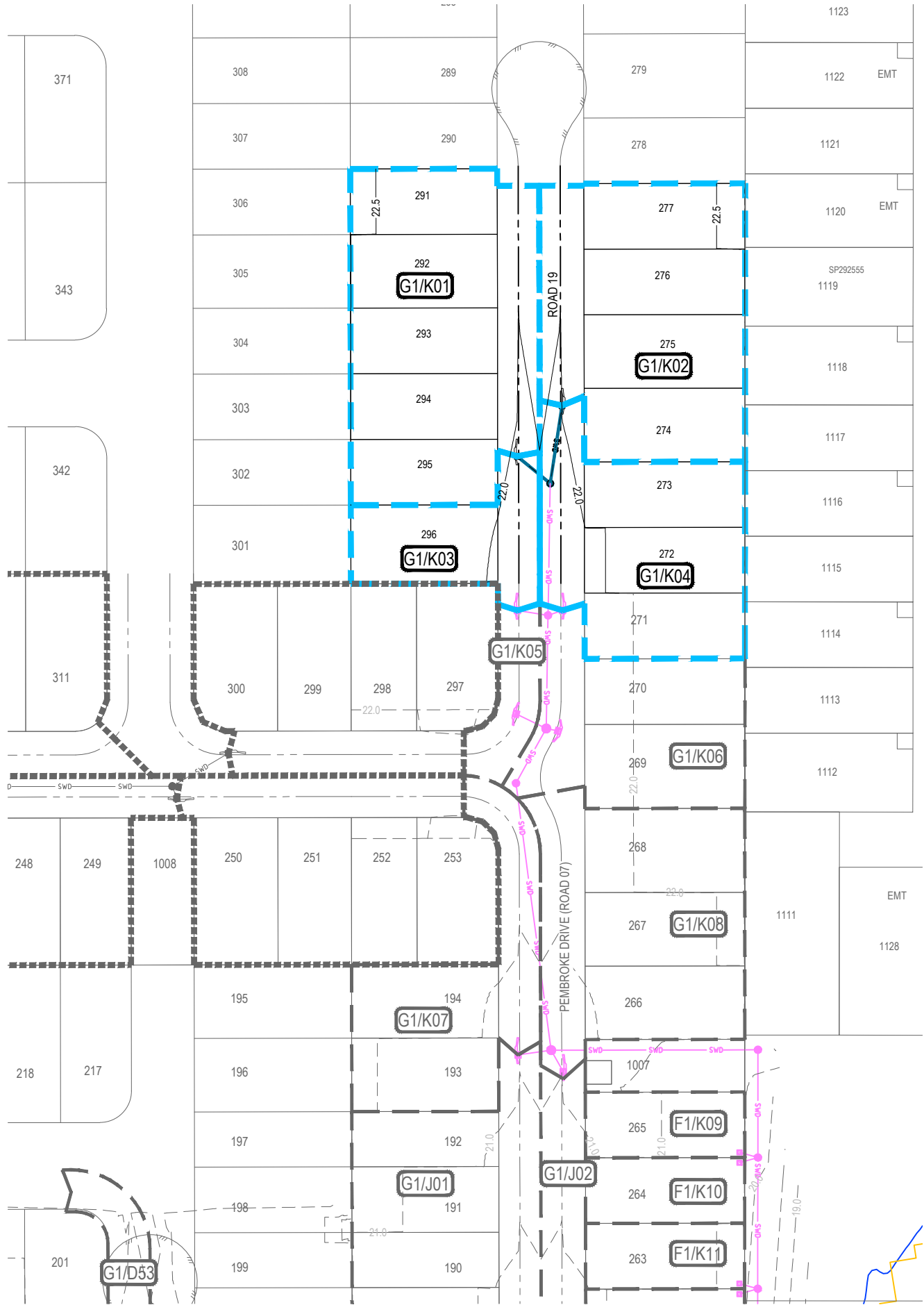


TYPICAL GULLY PIT PIPE CONNECTION DETAIL
NTS

KERB ADAPTORS NOTES

ALL LOTS NOT DRAINING TO A PROPERTY PIT TO HAVE 2 KERB ADAPTORS . KERB ADAPTORS SHOWN ARE INDICATIVE ONLY AND ARE TO BE INSTALLED IN ACCORDANCE WITH IPWEA STD DRG RSD-201.

NOTE:
NOTWITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THE JOB DRAWINGS, NO RESPONSIBILITY IS TAKEN BY THE SUPERINTENDENT OR THE PRINCIPAL FOR THIS INFORMATION WHICH HAS BEEN SUPPLIED BY OTHERS. THE DETAILS ARE PROVIDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL ASCERTAIN THE POSITION OF ANY UNDERGROUND SERVICES IN THIS AREA AND SHALL BE RESPONSIBLE FOR MAKING GOOD ANY DAMAGE THERETO.



LEGEND

STAGE BOUNDARY

STORMWATER DRAINAGE

MAINTENANCE HOLE

GULLY PIT

OUTLET STRUCTURE

STORMWATER CATCHMENT NAME

EXISTING STORMWATER CATCHMENT NAME

STORMWATER CATCHMENT BOUNDARY

EXISTING STORMWATER CATCHMENT BOUNDARY

DESIGN SURFACE CONTOUR (0.5m INTERVALS)

EXISTING SURFACE CONTOUR (0.5m INTERVALS)

EXISTING STORMWATER DRAINAGE

EXISTING MAINTENANCE HOLE

EXISTING GULLY PIT

CATCHMENT NAME	CATCHMENT AREA (Ha)
G1/K01	0.2200
G1/K02	0.1977
G1/K03	0.0654
G1/K04	0.1477

NOTE:

1.

REFER TO DRG 22-000082_7_1401 FOR STORMWATER STANDARD NOTES AND DETAILS.

2.

REFER TO DRG 22-000082_7_1410 FOR STORMWATER CATCHMENT PLAN.

3.

REFER TO DRGs 22-000082_7_1420 FOR STORMWATER LONGITUDINAL SECTIONS.

4.

REFER TO DRGs 22-000082_7_1430-1431 FOR STORMWATER CALCULATION TABLES.

CAUTION !!
UNDERGROUND TELECOMMS CABLES
UNDERGROUND TELECOMMUNICATION CABLES EXIST IN THIS VICINITY. CONTACT SUPPLIER FOR CABLE LOCATIONS. EXTREME CARE MUST BE TAKEN WHILST EXCAVATING.

CAUTION !!
UNDERGROUND GAS MAIN
UNDERGROUND GAS MAIN EXIST IN THIS VICINITY. CONTACT SUPPLIER FOR MAIN LOCATIONS. EXTREME CARE MUST BE TAKEN WHILST EXCAVATING

CAUTION !!
UNDERGROUND ELECTRICAL CABLES
UNDERGROUND ELECTRICITY CABLES EXIST IN THIS VICINITY. CONTACT ENERGEX FOR CABLE LOCATIONS. EXTREME CARE MUST BE TAKEN WHILST EXCAVATING

INITIAL	DES	DRN	CHK	APP	DATE
AA	RT	AA	RA	08.11.24	
A	AA	RT	AA	RA	24.01.25

AMENDMENT DETAILS

ISSUED FOR APPROVAL

FOR APPROVAL

APPROVED

BY: RYAN ASHWORTH NO: 19674

SIGN: *Ryan Ashworth* DATE: 24.01.25

SCALE

1:500 1:1000

A1 A3

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CLIENT

LENNIUM GROUP

PROJECT

LILYWOOD LANDINGS
STAGE 7

DRAWING TITLE

STORMWATER CATCHMENT PLAN

PROJECT No.	DRAWING No.	REVISION
22-000082_7	1410	A

DISCLAIMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE


Approved Subject to Conditions of Decision Notice DA/2025/0346


STRUCTURE NAME	G1/K01	02/K01	03/K01	04/K01	05/K01	06/K01	07/K01	08/K01	09/K01	10/K01	OUT/K01
STRUCTURE DESCRIPTION	GULLY PIT L.I.L. 2.4m Linel, MK&C	MANHOLE 1050mm DIA	MANHOLE 1050mm DIA	MANHOLE 1200mm DIA REFER 22-000082 6-1440 FOR STRUCTURE DETAIL	MANHOLE 1050mm DIA	MANHOLE 1200mm DIA REFER 22-000082 6-1440 FOR STRUCTURE DETAIL	MANHOLE 1050mm DIA	MANHOLE 1050mm DIA	MANHOLE 1050mm DIA	MANHOLE 1050mm DIA	PRECAST HEADWALL
LEGEND	<p>— DESIGN SURFACE</p> <p>- - - EXISTING SURFACE</p> <p>- . - . - HYDRAULIC GRADE LINE (10% AEP ARI)</p> <p>- . - . - HYDRAULIC GRADE LINE (1% AEP ARI)</p>										
NOTES:	<p>1. NOTWITHSTANDING THE STORMWATER STRUCTURE LEVELS SHOWN, THE COVER OR GRATE LEVEL SHALL SUIT THE FINISHED SURFACE PROFILE.</p> <p>2. THE PIPE CLASSES HAVE BEEN DESIGNED FOR SERVICE LOADS ONLY. THE CONTRACTOR SHALL ASSESS ANTICIPATED LOADS AND UPGRADE THE PIPE CLASSES IF NECESSARY IN ACCORDANCE WITH AS 3725-2007. CRACKED PIPES WILL NOT BE ACCEPTED.</p> <p>3. REFER DRG 22-000082_7_1401 FOR STORMWATER NOTES.</p>										
PIPE SIZE (mm)	375	450	525	600	600	600	600	600	600	600	750
PIPE CLASS	3	3	3	3	3	3	3	3	3	3	3
PIPE GRADE (%)	0.60%	0.70%	0.67%	0.71%	1.17%	1.73%	2.34%	0.72%	0.58%	0.95%	
PIPE SLOPE (1 in X)	165.29	143.50	148.75	140.05	85.44	57.92	42.71	138.92	171.44	105.56	
FULL PIPE VELOCITY (m/s)	0.76	1.01	1.15	1.08	1.08	1.47	1.46	1.56	1.65	1.08	
PART FULL VELOCITY (m/s)	1.30	1.61	1.76	1.91	2.30	2.88	3.22	2.07	1.89	2.37	
DATUM RL	4.0										
H.G.L. IN PIPE & W.S.E IN STRUCTURE	21.041	20.783	20.677	20.602	20.482	20.403	20.286	20.206	20.180	18.884	18.926
PIPE FLOW (Cumecs)	0.084	0.161	0.248	0.306	0.305	0.417	0.414	0.441	0.466	0.477	
PIPE CAPACITY AT GRADE (Cumecs)	0.136	0.238	0.353	0.519	0.665	0.807	0.940	0.521	0.469	1.088	
DEPTH TO INVERT	1.447	1.438	1.513	1.576	1.651	1.696	1.771	2.024	2.044	1.928	1.948
INVERT LEVEL OF DRAIN	20.520	20.470	20.395	20.220	20.145	20.000	19.925	19.840	19.820	19.220	19.200
DESIGN SURFACE LEVEL	21.967	21.908	21.796	21.696	21.864	21.148	20.646	20.051	19.754	19.607	18.300
SETOUT COORDINATES	E 91091.085 N 502530.133	E 91096.511 N 502524.032	E 91092.210 N 502499.289	E 91088.517 N 502478.040	E 91081.200 N 502468.649	E 91079.956 N 502417.400	E 91118.874 N 502411.368	E 91115.695 N 502391.106	E 91111.806 N 502366.405	E 91108.074 N 502342.695	E 91117.458 N 502342.695
RUNNING CHAINAGE	0.000	8.265	25.113	33.378	21.568	54.946	11.904	66.851	51.264	118.115	39.384

[illegible][illegible]

STATUS	
FOR APPROVAL	
APPROVED	
BY: RYAN ASHWORTH	NO: 19674
SIGN: <i>Ryan Ashworth</i>	DATE: 24.01.25

SCALE

1:1000 10 0 10 20 30 40 50m A1
1:2000  A3
HORIZONTAL

1:100 2 1 0 2 4m A1
1:200  A3
VERTICAL



CLIENT

LENNIUM
GROUP

PROJECT

Lilywood
LANDINGS

STAGE 7

DRAWING TITLE		
STORMWATER LONGITUDINAL SECTIONS		
PROJECT No.	DRAWING No.	REVISION
22-000082_7	1420	A

[illegible]

STORMWATER DRAINAGE CALCULATIONS - MINOR 10% AEP

AMENDMENT						AMENDMENT DETAILS	STATUS	SCALE	CLIENT	PROJECT	DRAWING TITLE		
INITIALS	DES	DRN	CHK	APP	DATE								
	AA	RT	AA	RA	08.11.24		FOR APPROVAL		 © 2023 Egis Consulting Pty Ltd www.egis-group.com		 STAGE 7	STORMWATER CALCULATION TABLES MINOR	
	AA	RT	AA	RA	24.01.25	ISSUED FOR APPROVAL							PROJECT No. 22-000082_7

[illegible]

STORMWATER DRAINAGE CALCULATIONS - MAJOR 1% AEP (INCLUDING 20% ABOVE STANDARD 1% AEP INTENTIES FOR CLIMATE CHANGE)

AMENDMENT						AMENDMENT DETAILS		STATUS		SCALE		CLIENT		PROJECT		DRAWING TITLE				
ISSUE	DES	DRN	CHK	APP	DATE															
A	AA	RT	AA	RA	08.11.24			FOR APPROVAL				 © 2023 Egis Consulting Pty Ltd www.egis-group.com				 STAGE 7		STORMWATER CALCULATION TABLES MAJOR		
	AA	RT	AA	RA	24.01.25	ISSUED FOR APPROVAL												PROJECT No. DRAWING No. REVISION		
								APPROVED								22-000082_7 1431 A				
								BY: RYAN ASHWORTH NO: 19674												
								SIGN: <i>Ryan Ashworth</i> DATE: 24.01.25												

ATTACHMENT 4

Appeal Rights

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or

- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for an appeal relating to the *Plumbing and Drainage Act 2018*—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (g) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.

- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
 - (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and

- (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
 - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
 - (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department’s website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.

- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—
decision includes—
 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.